New Addition for:

Kettering Seventh-day Adventist Church

3939 Stonebridge Road, Kettering, Ohio

SOUTHEAST CORNER

NORTHEAST CORNER

NORTH PERSPECTIVE

NORTHWEST CORNER

RUETSCHLE

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DAYTON, OHIO 45405
TEL: 937-461-5390
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RUETSCHLE.COM

Ruetschle Architects, Inc. 937.461.5390	222 Linwood Street	Architect Dayton, Ohio 45405
Burkhardt Engineering Co. 937.388.0060	29 North Cherry Street	Civil Engineers Germantown, OH 45327
Shell and Meyer Associates, Inc. 937.298.4631	2202 South Patterson Road	Structural Engineers Dayton, Ohio 45409
Heapy Engineering LLC 937.224.0861	1400 West Dorothy Lane	Consulting Engineers Dayton, Ohio 45409

Bid Package 3A
Masonry Work and
Grade Beam Foundation Work

May 20, 2019

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SITE IMPROVEMENT PLANS FOR

KETTERING
SEVENTH-DAY ADVENTIST CHURCH

3939 STONEBRIDGE ROAD
CITY OF KETTERING, MONTGOMERY COUNTY, OHIO

GENERAL CONSTRUCTION NOTES

1. Site/Civil Specifications: All plans, construction, materials, and methods shall be in accordance with the current "Rules and Regulations" of the City of Kettering, Montgomery County and the Ohio Department of Transportation Construction and Material Specifications. When in conflict, the City requirements shall prevail.

2. Prior to the start of construction, the Contractor shall be responsible for ensuring that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and reviewed all plans and other documents approved by all the permitting authorities. The Contractor shall post all bonds, pay all fees, and provide proof of insurance as required to obtain permits.

3. All sediment and erosion control measures, as shown on Sheets C-6.0 and C-6.1, shall be in place prior to the start of any demolition, clearing and grubbing, or construction operations. Erosion control measures shall conform to all Local, State, and Federal regulations and requirements.

4. North arrow, existing topography, and bearings based on field survey of the subject property prepared by Burkhardt Engineering Company in Summer 2018.

5. Information on existing utilities has been compiled from available information including utility company and municipal records and field survey and is not guaranteed correct and complete. Utilities are shown to alert the Contractor to their presence and the Contractor is solely responsible for determining actual locations and elevations of all utilities. Prior to demolition or construction, the Contractor shall contact "811", 72 hours before commencement of work and verify all utility locations.

6. The Contractor shall provide and maintain traffic control devices for protection of vehicles and pedestrians consisting of drums, barriers, signs, lights, fences and uniformed traffic officers as required by Local and State Authorities.

7. The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Professional Land Surveyor (Registered with the State) at the expense of the Contractor.

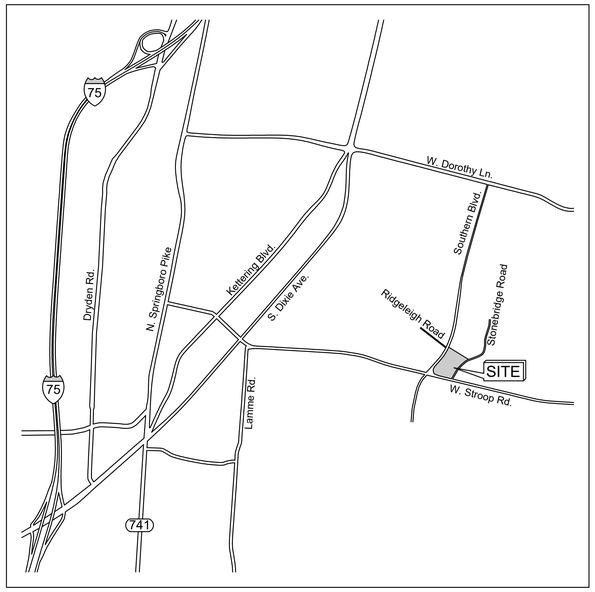
8. Any disturbance incurred to any adjacent properties or public right-of-way during demolition and construction shall be restored to its original condition or better, in accordance with and to the satisfaction of Local and State Authorities.

9. The Contractor shall abide by all OSHA, Federal, State, and Local regulations when operating cranes, booms, hoists, etc. in close proximity to overhead electric lines. If Contractor must operate equipment close to electrical lines, contact the local Utility Provider to make arrangements for proper safeguards.

10. All material schedules shown on the plans are for general information only. The Contractor shall prepare their material schedules based upon their plan review. All schedules shall be verified in the field by the Contractor prior to ordering materials or performing work.

11. The Contractor is solely responsible for ensuring that all work is performed by qualified subcontractors and that all personnel have the proper certifications, licenses, and insurance to perform the work in accordance with all Local, State, and Federal rules and regulations.

12. All work within public rights-of-way shall be in accordance with Local, State, and/or Federal requirements and specifications.



VICINITY AND SITE MAP
NOT TO SCALE

- The Engineer of Record is to complete the OhioEPA Checklist for Construction Activities (OHC000005) and submit it with the SWPPP during the plan development stage. www.epa.ohio.gov/portals/35/storm/CGP_SWP3_Checklist.pdf

- The Contractor is to submit via e-mail to ketteringengineering@ketteringoh.org a completed OhioEPA Construction Site Inspection Checklist for OHC000005 weekly or after a storm of more than 1/2 inch. www.epa.ohio.gov/portals/35/storm/CGP_Ins1.pdf

- A right of way permit and inspections from the City of Kettering Engineering Department are required for all work within the public right of way or public easements. Call 937-296-2436 at least 24 hours prior to commencing any work in the right of way or city-related elements.

- Contractor shall notify the City of Kettering Engineering Department prior to any earth disturbing activity so that inspection of erosion control measures can be performed.

- The Owner and Contractor bear all the responsibility for compliance with the approved plans, field inspection and quality of work.

- The City of Kettering Engineering Department hereby accepts these plans for construction, as being in general compliance with plan preparation requirements of this government in regards to Engineering Department responsibilities. Responsibility for the completeness and accuracy of the plans and related designs resides with the Engineer and the Engineering Firm of Record.

City of Kettering Review Engineer Date

Know what's below. Call before you dig.

The Contractor shall obtain a copy of the Geotechnical Engineering Report prepared by Bowser Morner dated September 28, 2018 and shall refer to the report for site preparation, compaction, utility trench backfill, pavement, foundations and slabs, construction and design criteria.

SITE DESIGN TEAM

CIVIL ENGINEER / SURVEYOR
Burkhardt Engineering
Contact: Jonathan Burkhardt
Phone: 937.388.0060
Email: jdburkhardt@burkhardtinc.com

LANDSCAPE ARCHITECT
Yellow Springs Design
Contact: Roger Beal
Phone: 937.767.8199
Email: ysdesign830@outlook.com

ARCHITECT
Ruetschle Architects
Contact: Henry Wulbeck
Phone: 937.461.5390
Email: henry@ruetschle.com

PROJECT SUMMARY

The project will include the demolition and removal of existing pavement, utilities, trees, vegetation, etc. as necessary to construct a new building addition and its associated pavement, utilities, and landscaping at the Kettering Seventh Day Adventist Church in Kettering, Ohio.

PROPERTY INFORMATION

Address: 3939 Stonebridge Road, Kettering, Ohio 45419
Zoning: R-E-b
Flood Zone Designation: FIRM # 39113C0254E, effective date: January 6, 2005
Zone "X" : Areas determined to be outside the 0.2% annual chance floodplain.

SHEET INDEX

C-0.1 : Civil Title Sheet
C-1.0 : Existing Conditions Survey
C-1.1 : Demolition Plan
C-2.0 : Site Plan
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C-5.0 : Details
C-5.1 : City and County Details
C-6.0 : Storm Water Pollution Prevention Plan
C-6.1 : Storm Water Pollution Prevention Plan Details
L-1.0 : Site Landscape Plan
L-1.1 : Building Landscape Plan

CIVIL PLANS ISSUE LOG

Description	Date
Issue for Bid/Permit	12.10.18
Rev1 - City Comments	01.22.19

See Civil Drawing Revision Summary for detailed information on revisions between plan releases.

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STATE OF OHIO
JONATHAN D. BURKHARDT
E-80258
REGISTERED PROFESSIONAL ENGINEER
01.22.2019

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ENGINEERS • SURVEYORS
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CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Issued
December 10, 2018

CIVIL TITLE SHEET

Revisions:
1 01.22.2019 City Comments

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-0.1

EXISTING CONDITIONS SURVEY NOTES

1. Existing conditions and topography are based on a field survey of the subject property completed by Burkhardt Engineering Company in Summer 2018.
2. All data was collected in Ohio State Plane Coordinates and all elevations reference datum NAVD88.
3. Existing utilities, as depicted on this plan, have been compiled from a combination of observed field evidence, ground penetrating radar and electromagnetic locations, record drawings provided by Kettering Seventh-Day Adventist Church, and record drawings provided by the City of Kettering. Information depicted hereon is not guaranteed correct or complete and the Contractor is solely responsible for determining actual locations and elevations of all existing utilities.

EXISTING CONDITIONS LEGEND

- EX. SIGN
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. TELECOM PEDESTAL
- EX. ELECTRIC CABINET/BOX
- EX. GAS METER
- EX. GAS VALVE
- EX. TREE (WITH SIZE)
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. IRRIGATION VALVE/HEAD
- EX. WATER METER PIT
- EX. SANITARY MANHOLE
- EX. CLEANOUT
- EX. SANITARY LAMPHOLE
- EX. STORM CATCH BASIN
- EX. STORM CURB INLET
- EX. CONTOUR
- EX. SANITARY SEWER
- EX. WATER MAIN
- EX. STORM SEWER
- EX. GAS MAIN
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELECOM

811 Know what's below. Call before you dig.

SITE BENCHMARKS

Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

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01.22.2019

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CIVIL ENGINEERING | LAND SURVEYING | MUNICIPAL, RETAIL SITE DEVELOPMENT

Issued
December 10, 2018

EXISTING CONDITIONS SURVEY

Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-1.0

DEMOLITION NOTES

1. Within the subject property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to allow for the construction of the new project.
2. All items noted to be removed shall be done as part of the contract for general construction.
3. Contractor shall remove and dispose of any materials requiring removal from the work area in an approved off-site landfill.
4. The Contractor shall secure all permits for demolition and disposal of demolition material to be removed from the site. The Contractor shall post all bonds and pay all permit fees as required.
5. The Contractor shall cut and plug, or arrange for the appropriate utility company to cut and plug service piping at the property line or at the main (as required). All services may not be shown on this plan.
6. For all items noted to be removed, remove not only above ground elements, but all underground elements as well, including, but not necessarily limited to: foundations, slabs, gravel fills, tree roots, pipes, wires, unsuitable materials, etc.
7. The Contractor shall sawcut existing pavement to provide a clean edge between existing pavement to remain and existing pavement to be removed.
8. Limits of removal shown on demolition plan are approximate only. Actual quantities may vary due to construction activities. Contractor is responsible for all demolition, removal and restoration work necessary to allow for the construction of the new project.
9. Backfill excavations resulting from demolition work to meet the requirements for fill outlined in the Geotechnical / Soils Report.
10. Demolition and construction are expected to take place in multiple phases over an extended period of time. Site/Demolition Contractor to coordinate with General Contractor, Owner, and Architect on extent of removal and timing for each portion of demolition work.
11. Demolition plan calls for the removal of a section of the storm sewer system along on the north and east sides of the existing building. Proposed storm sewer will route this storm water around the proposed building, see Sheet C-4.0. Storm sewer drainage must be maintained throughout construction to route storm sewer around or through the project area. Contractor to determine best method for maintaining proper drainage throughout construction and contact BURKHARDT with any questions or concerns. 937-388-0060.
12. Demolition plans calls for the abandonment of the existing water service line and demolition of the existing water meter pit. This work is not to take place until the new combined water service is installed to the proposed building addition and the new service line is installed from the proposed building addition to the existing building. Sheet C-4.0 for details.
13. Existing topsoil is to be stripped from site and stockpiled in the stockpile/staging area for Kettering Health Network (KHN), which is located east of the KHN Cancer Center between the east parking lot and Stonebridge Road. Coordinate with KHN for exact location of stockpile as well as acceptable haul routes. Stockpile only topsoil which will be re-used in final/finish grading and landscaping. Any excess topsoil is to be hauled off-site and disposed of at the Contractor's expense. KHN stockpile area is to be restored to its original condition upon project completion. The KHN stockpile area is to maintain proper erosion control measures around the stockpile areas, in accordance with the guidelines provided on Sheet C-6.0 and C-6.1 and in compliance with all rules and regulations set forth by the City of Kettering and the Ohio EPA.

EXISTING CONDITIONS LEGEND

- EX. SIGN
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. TELECOM PEDESTAL
- EX. ELECTRIC CABINET/BOX
- EX. GAS METER
- EX. GAS VALVE
- EX. TREE (WITH SIZE)
- EX. FIRE HYDRANT
- EX. WATER VALVE
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- EX. STORM CURB INLET
- EX. CONTOUR
- EX. SANITARY SEWER
- EX. WATER MAIN
- EX. STORM SEWER
- EX. GAS MAIN
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELECOM

811 Know what's below. Call before you dig.

SITE BENCHMARKS

Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060

DEMOLITION KEYNOTES

01 SAWCUT EXISTING PAVEMENT/CONCRETE/CURB FOR REMOVAL. PROVIDE CLEAN EDGE FOR FUTURE CONSTRUCTION AND INSTALLATION OF PAVEMENT, SIDEWALK, DRIVEWAY AND CURB.
- - - - - SAWCUT LINE

02 REMOVE EXISTING PAVEMENT, CONCRETE, CURB, TOPSOIL, AND ANY OTHER UNSUITABLE MATERIALS IN PROJECT AREA AND PREPARE SITE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE HATCHED AREA FOR EXTENT OF REMOVAL. ALL PAVEMENT, UTILITIES, LANDSCAPING, ETC. OUTSIDE THE HATCHED AREA ARE TO BE RETAINED AND PROTECTED UNLESS OTHERWISE NOTED. STOCKPILE TOPSOIL FOR FUTURE RESPREAD.
REMOVAL AREA

03 REMOVE EXISTING CANOPY (SEE ARCH.)

04 REMOVE EXISTING STEPS AT DOORWAY (SEE ARCH.)
- INSTALL NEW CONCRETE PAD AT F.F. ELEVATION. SEE SHEET C-2.0

05 REMOVE EXISTING STORM SEWER
- SEE GENERAL DEMOLITION NOTE #11, THIS SHEET.

06 REMOVE EXISTING CATCH BASIN
- SEE GENERAL DEMOLITION NOTE #11, THIS SHEET.

07 RETAIN AND PROTECT EXISTING STORM SEWER/STRUCTURE.

08 REMOVE EXISTING RETAINING WALL AND HANDRAIL.
- SEE SAWCUT LINE FOR LIMITS OF REMOVAL.

09 REMOVE EXISTING SIGN
- COORDINATE WITH OWNER FOR RELOCATION/STORAGE.

10 REMOVE EXISTING TREE / SHRUB / HEDGES
- REMOVE STUMPS AND ROOTS TO THE EXTENT POSSIBLE.
- ENSURE THAT EXISTING MEMORIAL PLAQUES ARE REMOVED FROM TREES PRIOR TO TREE REMOVAL. COORDINATE WITH KSDA CHURCH FOR RELOCATION/STORAGE OF PLAQUES.

11 REMOVE/RELOCATE EXISTING ELECTRIC AND TELECOM UTILITIES WITHIN THE PROJECT AREA
- RELOCATE LINES OUTSIDE THE PROJECT AREA. SEE SHEET C-3.0 FOR GRADING LIMITS. COORDINATE RELOCATION WITH KSDA CHURCH, KETTERING HEALTH NETWORK, AND UTILITY PROVIDERS.

12 RELOCATE EXISTING EMERGENCY BLUE LIGHT AND ASSOCIATED UTILITY LINES.
- COORDINATE WITH KETTERING HEALTH NETWORK.

13 REMOVE/RELOCATE EXISTING WATER SPIGET OR IRRIGATION VALVE, HEAD, OR CONTROL BOX.
- COORDINATE WITH KSDA CHURCH AND KETTERING HEALTH NETWORK.

14 RETAIN AND PROTECT EXISTING UTILITIES
- IF UTILITY NEEDS TO BE MODIFIED, RELOCATED, OR REMOVED; COORDINATE WITH APPROPRIATE UTILITY PROVIDER, OWNER, AND ENGINEER.

15 RESTRIPE PARKING AREA AS DEPICTED ON SHEET C-2.0

16 SAVE AND PROTECT EXISTING TREE
- INCLUDING BRANCHES, TRUNK, AND ROOT SYSTEM.
- ELM, WILD CHERRY, AND SILVER MAPLE TREES (NOTED ON PLAN) SHOULD BE FENCED OFF UNDER THE TREE CANOPY TO PROTECT THE AREA FROM CONSTRUCTION ACTIVITIES. DO NOT DISTURB.

17 REMOVE EXISTING WATER SERVICE
- REMOVE EXISTING WATER METER PIT AND ABANDON EXISTING WATER SERVICE AFTER NEW WATER SERVICE LINES ARE INSTALLED AND OPERATIONAL.

18 SAWCUT AND REMOVE EXISTING SIDEWALK FOR UTILITY INSTALLATION.
- REPAIR/REPLACE SIDEWALK AND REPLACE HEDGE ROW UPON COMPLETION.
- SEE SHEET C-4.0 FOR ADDITIONAL INFORMATION

EXISTING ADA PARKING SIGNAGE AND CONSTRUCTION ACCESSIBILITY

1. The existing ADA signs (portable, on concrete bases) that are currently located in the ADA parking areas around the north side of the church are to be relocated to the northwest parking area and used for ADA parking signage in that area, as depicted on the Site Plan (Sheet C-2.0).

2. The Contractor is to work with the Owner to provide ADA accessible routes into the existing building throughout all phases of construction. Temporary ramps and other accessibility elements will need to be constructed/provided to maintain accessibility throughout construction.

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

N

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01.22.2019

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Issued
December 10, 2018

DEMOLITION PLAN

Revisions:
1 01.22.2019 City Comments

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-1.1

SITE PLAN NOTES

1. Building dimensions shown on the Civil Engineering Plans are for reference purposes only. The Contractor shall use the Architectural and Structural Plans for exact building dimensions.
2. All site and radii dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
3. All dimensions to the building are referenced to the outside face of the structure's facade.
4. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all Local and/or State specifications and requirements.
5. All proposed handicap ramps, parking areas, and accessible routes shall strictly comply with current Local, State, and Federal regulations, including but not necessarily limited to the ADA Accessibility Guidelines (ADAAG).
6. All ADA accessible routes shall have detectable warnings installed as required by the ADAAG. Detectable warnings shall consist of raised truncated domes which contrast visually with the adjoining surfaces, either light-on-dark, or dark-on-light.
7. Contractor shall sawcut existing pavement to provide a clean, straight joint where new pavement meets existing pavement and ensure positive drainage.
8. All concrete pavement shall have joints in accordance with ACI 330R-08, Section 3.7 and Appendix C. Contraction joints shall be 1/4 of the slab thickness. Isolation joints shall be placed between pavement and foundations, inlets, and other fixed structures. Contraction joints shall be tool finished and spaced as follows:
   - Curbing: 10'-0" (max) spacing.
   - Sidewalks: 5'-0" (max) spacing.
   - Vehicular Traffic Areas: 24 x Concrete Pavement Thickness (feet), 15'-0" (max) spacing.

PARKING SUMMARY

Existing Parking: 165 spaces on KSDA Church property

Proposed Parking: 105 spaces on KSDA Church property
- Standard Parking: 88 spaces
- ADA Accessible Parking: 17 spaces

Shared parking is available from Kettering Medical Center's Student Parking Area, a shared parking agreement will be executed to allow for this condition. Zoning code does not specify a required minimum amount of parking spaces for Churches/Places of Worship.

See Sheet C-5.1 for Pedestrian Connection Exhibit

SITE AND PAVEMENT LEGEND

- (#) NUMBER OF PARKING SPACES
- CONCRETE WHEEL STOP
- ADA PARKING SYMBOL
- PROPOSED LIGHT POLE
- PROPOSED SIGN
- CONCRETE SIDEWALK/PAD/APPROACH
- NEW ASPHALT PAVEMENT

811 Know what's below. Call before you dig.

SITE BENCHMARKS

Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060

SITE PLAN KEYNOTES

01 ASPHALT PAVEMENT
- PER PAVEMENT SECTION / SHEET C-5.0

02 CONCRETE SIDEWALK WITH INTEGRAL CURB
- PER DETAIL / SHEET C-5.0
- SEE PLAN FOR WIDTH

03 CONCRETE SIDEWALK
- PER DETAIL / SHEET C-5.0
- SEE ARCH. PLANS FOR CONCRETE JOINTING PLAN

04 CONCRETE BARRIER CURB
- PER DETAIL / SHEET C-5.0

05 PARKING STRIPE / HATCH
- 4" WIDE PAINTED STRIPES. HATCHING TO BE AT 45° AND 2'-0" O.C.
- STRIPING TO BE PAINTED WHITE.

06 CONCRETE RAMP
- PER DETAILS / SHEET C-5.0
- MAX SLOPE = 1:12 (8.33%)
- SEE SHEET C-3.0 FOR GRADES

07 ADA PARKING SIGNAGE ON BOLLARD
- PER DETAIL / SHEET C-5.0

08 ADA PARKING SYMBOL
- PER DETAIL / SHEET C-5.0

09 CONCRETE WHEEL STOP
- PER DETAIL / SHEET C-5.0

10 TRANSITION SIDEWALK/RAMP REVEAL
- TRANSITION FROM FULL 6" REVEAL TO NO REVEAL.
- SEE GRADING PLAN / SHEET C-3.0

11 CONCRETE CURB END TAPER
- PER DETAIL / SHEET C-5.0

PUBLIC RIGHT-OF-WAY IMPROVEMENT KEYNOTES

A CONCRETE DRIVEWAY APPROACH
- PER CITY OF KETTERING DETAILS / SHEET C-5.1

B CONCRETE CURB & GUTTER
- PER CITY OF KETTERING DETAILS / SHEET C-5.1
- TYPE B, MATCH EXISTING

C CONCRETE SIDEWALK
- PER CITY OF KETTERING DETAILS / SHEET C-5.1

*RESTORE PUBLIC RIGHT-OF-WAY (DUE TO DEMOLITION, CONSTRUCTION AND UTILITY CONNECTIONS) IN ACCORDANCE WITH CITY OF KETTERING DETAILS AND SPECIFICATIONS. SEE DETAILS AND NOTES ON SHEET C-5.1

NORTHWEST ADA PARKING AREA

The existing ADA signs (portable, on concrete bases) that were removed as part of demolition (see note on Sheet C-1.1) are to be used to provide ADA parking signage in the Northwest ADA Parking Area as depicted on this plan. Contractor to provide additional signs as necessary to properly sign each parking space.

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

RUETSCHLE
222 LINWOOD STREET
DAYTON, OHIO 45405
TEL: 937-461-5390
FAX: 937-461-8829
RUETSCHLE.COM

STATE OF OHIO
JONATHAN D BURKHARDT
E-80258
REGISTERED PROFESSIONAL ENGINEER
01.22.2019

BURKHARDT
ENGINEERS • SURVEYORS
28 North Cherry Street | Germantown, Ohio 45327 | Phone: 937-388-0060 | BURKHARDTINC.COM
CIVIL ENGINEERING | LAND SURVEYING | NATIONAL RETAIL SITE DEVELOPMENT

Issued
December 10, 2018

SITE PLAN

Revisions:
1 01.22.2019 City Comments

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-2.0

IMPERVIOUS AREA CALCULATIONS

PRE-DEVELOPED:

Total Area = 1.35 Acres

Percent Impervious = 41.5% (0.56 Acres)

POST-DEVELOPED:

Total Area = 1.35 Acres

Percent Impervious = 37.8% (0.51 Acres)

*Due to the reduction in impervious area, from the pre-developed condition to the post-developed condition; storm water detention is not necessary because storm water runoff rates and volumes will be reduced by the proposed development.

GRADING LEGEND

MEG	MEET EXISTING GRADE
GR	GRATE/RIM ELEVATION
FP	FINISHED PAVEMENT/ASPHALT
TC	TOP OF CURB OR FINISHED CONCRETE
	PROP. CHANNEL FLOW W/ SLOPE
	PROP. SHEET FLOW W/ SLOPE
+00.00	PROP. SPOT ELEVATION
+00.00	EXIST. SPOT ELEVATION
0000	PROP. CONTOUR

Know what's below. Call before you dig.

SITE BENCHMARKS

Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060

GENERAL GRADING, EARTHWORK, DRAINAGE & LANDSCAPE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished (surface) pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished (surface) grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative. See note on Sheet C-1.1 regarding stockpile of topsoil.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
    - Ramps - 1:12 (8.3%) max.
    - Routes - 1:20 (5.0%) max.
    - Parking - 1:50 (2.0%) max.
    - Cross Slopes - 1:50 (2.0%) max.

GENERAL GRADING, EARTHWORK, DRAINAGE & LANDSCAPE NOTES CONTINUED:

12. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
13. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
14. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.
14. Proposed spot elevations are provided in a truncated form to save space, add 800' to each spot elevation to convert the elevation to NAVD88 datum.
15. Following grading of subsoil to subgrade elevations, the Contractor shall scarify to a depth of 3" and provide topsoil in all disturbed areas which are not to be paved. The Contractor is to refer to the Landscape Plans for all topsoil depths and finishing materials and should grade the subsoil to the appropriate elevation to allow for topsoil, sod, mulch, and any other finishing materials to be placed. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
16. Grading around all storm structures/grates in grass or landscape areas is to be done such that topsoil and landscape materials (as noted on the Landscape Plans) can be placed without covering the structure/grates.
17. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
18. The General Contractor shall provide all landscaping (including but not necessarily limited to: finished/fine grading, topsoil, sod, plant materials, mulch, etc.) as noted and detailed on the Landscape Plans as part of the base bid for construction.
19. The General Contractor shall provide an irrigation system for all landscape and lawn areas and shall use the Owner's irrigation designer/installer (Kettering Irrigation) for all irrigation work. General Contractor to solicit and obtain a copy of the irrigation design from Kettering Irrigation, coordinate as necessary throughout construction, and provide irrigation sleeves (under pavement areas) as necessary for system installation. Include itemized pricing from Kettering Irrigation in the base bid for construction.

GRAPHIC SCALE

20 0 10 20

1 inch = 20 ft.

N

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GRADING PLAN

Revisions:
1 01.22.2019 City Comments

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-3.0

STORM SEWER NOTES:

All storm sewer shall be ADS Dual Wall N-12 (or equivalent) with watertight joints, unless otherwise noted on plans. All pipe shall be installed according to manufacturer's specifications.

Contractor to provide downspout collection system to connect building downspouts / roof drains to on-site storm sewer system, as shown. See architectural plans and plumbing plans for downspout and roof drain locations. Contractor to provide all connections and boots from internal roof drains and/or downspouts to the downspout collection system. See Sheet C-5.0 for connection details.

Downspout collection pipe may be HDPE (ADS N-12 or equivalent) or Schedule 40 PVC pipe. All pipe shall be installed according to Local, State, and manufacturer's specifications. Provide cleanouts at all bends, angles, and junctions. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars, per detail / Sheet C-5.0.

All ODOT Type 3A structures to have diagonal grates, not "V" style grates. All other ODOT Catch Basin structures to have Neenah R-4859-C grates or approved equivalent.

All catch basins with depth greater than 4' shall be provided with steps. Steps to meet the requirements of ODOT Item 604.

All catch basins located in sump pavement and grass/landscape areas are to have underdrains extending 10 lineal feet from the catch basin in the uphill direction or in the directions noted. See details on Sheet C-5.0

All storm structures/grates in grass or landscape areas are to be installed to allow for topsoil and landscape materials (as noted on the Landscape Plans) to be placed without covering the structure/grates.

Storm sewer connection, permit and construction to be coordinated with the City of Kettering.

SANITARY SEWER NOTES:

Contractor to provide 6" sanitary sewer service line from public sanitary sewer main in Stonebridge Road to proposed building addition. Install tap, cleanouts and other appurtenances in accordance with Montgomery County standards. Coordinate building connection with plumbing plans.

All sanitary sewer pipe shall be P.V.C. SDR 35, ASTM D-3034 with joints conforming to ASTM D-3212 unless otherwise noted. All pipe shall be installed in accordance with the manufacturer's recommended procedures and shall maintain a minimum slope of 1.50%.

Sanitary sewer clean-outs shall be installed at all sewer pipe bends, angles, and junctions, unless a manhole is indicated. All cleanouts in pavement areas shall be installed with traffic bearing lids and concrete collars. Cleanout spacing should not exceed 100'. Per detail / Sheet C-5.0.

Sanitary sewer service connection to be coordinated with Montgomery County Environmental Services, temporary street closure and restoration of street to be coordinated with the City of Kettering.

WATER NOTES:

Contractor to provide 6" combined fire/domestic water service line from public water main in Stonebridge Road to proposed building addition. Install tap, meters, backflow preventer, joint restraints and other appurtenances according to Montgomery County specifications and requirements. Coordinate building connection with plumbing plans.

All water service lines (6" and 4") and fittings to be Ductile Cast Iron, Class 53 conforming with ANSI A-21.51 (AWWA C-151) unless otherwise noted. Blocking and restraints should be provided in accordance with Montgomery County standards. All water line sizes, materials and specifications to be verified by Fire Suppression Designer. Service line to be installed at a minimum depth of 4'-6" and be backfilled according to Montgomery County and City of Kettering specifications.

Water service connection to be coordinated with Montgomery County Environmental Services, temporary street closure and restoration of street to be coordinated with the City of Kettering.

New 6" combined water service and 4" service line from proposed building addition to existing building to be installed and operational prior to abandoning existing water service line and demolishing existing meter pit.

ELECTRIC NOTES:

Coordinate electric service lines, meter, and connections with electrical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction. Coordinate site lighting, conduit/sleeve locations, connections, etc. with electrical plans. Any proposed electrical lines, services, fixtures, upgrades, connections, etc. are not depicted on the civil engineering plans and must be obtained from the PME plans. Notify Engineers of any potential conflicts between the PME plans and the civil engineering plans.

GAS NOTES:

Coordinate gas service lines, meter, and connections with mechanical plans and local utility provider. Contractor shall verify both location and availability of service prior to the start of construction. Any proposed gas lines, services, fixtures, upgrades, connections, etc. are not depicted on the civil engineering plans and must be obtained from the PME plans. Notify Engineers of any potential conflicts between the PME plans and the civil engineering plans.

UTILITY CONTACT INFORMATION:

SANITARY SEWER
Montgomery County Environmental Services
Contact: Ed Petticrew
Telephone: 937-781-2628
Email: petticrew@mcohio.org
permits@mcohio.org

WATER
Montgomery County Environmental Services
Contact: Ed Petticrew
Telephone: 937-781-2628
Email: petticrew@mcohio.org
permits@mcohio.org

STORM WATER
City of Kettering
Telephone: 937-296-2436
Email: KetteringEngineering@ketteringoh.org

GAS
Vectren
Contact: Don Specht
Telephone: 937-440-1965
Email: dspecht@vectren.com

ELECTRIC
Dayton Power & Light
Contact: Joseph Keeble
Telephone: 937-331-4137
Email: josephus.keebleiii@aes.com

STORM SEWER STRUCTURE KEYNOTES

(101) CATCH BASIN
ODOT TYPE 2-3
(NO SIDE INLETS)
GRATE = 844.40
4" UNDERDRAIN (N,S,W)
12"INV. = 839.88 (W)
18"INV. = 839.38 (N,S)

(102) CATCH BASIN
ODOT TYPE 2-3
(NO SIDE INLETS)
GRATE = 844.90
4" UNDERDRAIN (W,S)
18"INV. = 839.88 (W,S)

(103) CATCH BASIN
ODOT TYPE 2-3
(NO SIDE INLETS)
GRATE = 844.90
4" UNDERDRAIN (W,E)
18"INV. = 840.23 (W,E)

(104) CATCH BASIN
ODOT TYPE 2-3
(NO SIDE INLETS)
GRATE = 845.15
4" UNDERDRAIN (W,E)
6"INV. = 842.80 (S) (DOWNSPOUTS)
12"INV. = 842.11 (NW)
18"INV. = 840.58 (W,E)

(105) CATCH BASIN
ODOT TYPE 2-3
(NO SIDE INLETS)
GRATE = 846.80
12"INV. = 841.40 (NW,S)
18"INV. = 840.90 (E)

(106) CATCH BASIN
ODOT TYPE 2-2B
GRATE = 845.50
4" UNDERDRAIN (S)
6"INV. = 843.40 (S,E) (DOWNSPOUTS)
EX.8"INV. = 841.69 (W)
12"INV. = 841.69 (N)
MATCH EXISTING 8" STM. INVERT

(107) CATCH BASIN
ODOT TYPE 2-2B
GRATE = 845.00
4" UNDERDRAIN (E)
12"INV. = 842.12 (NW)
12"INV. = 841.12 (NE,E)

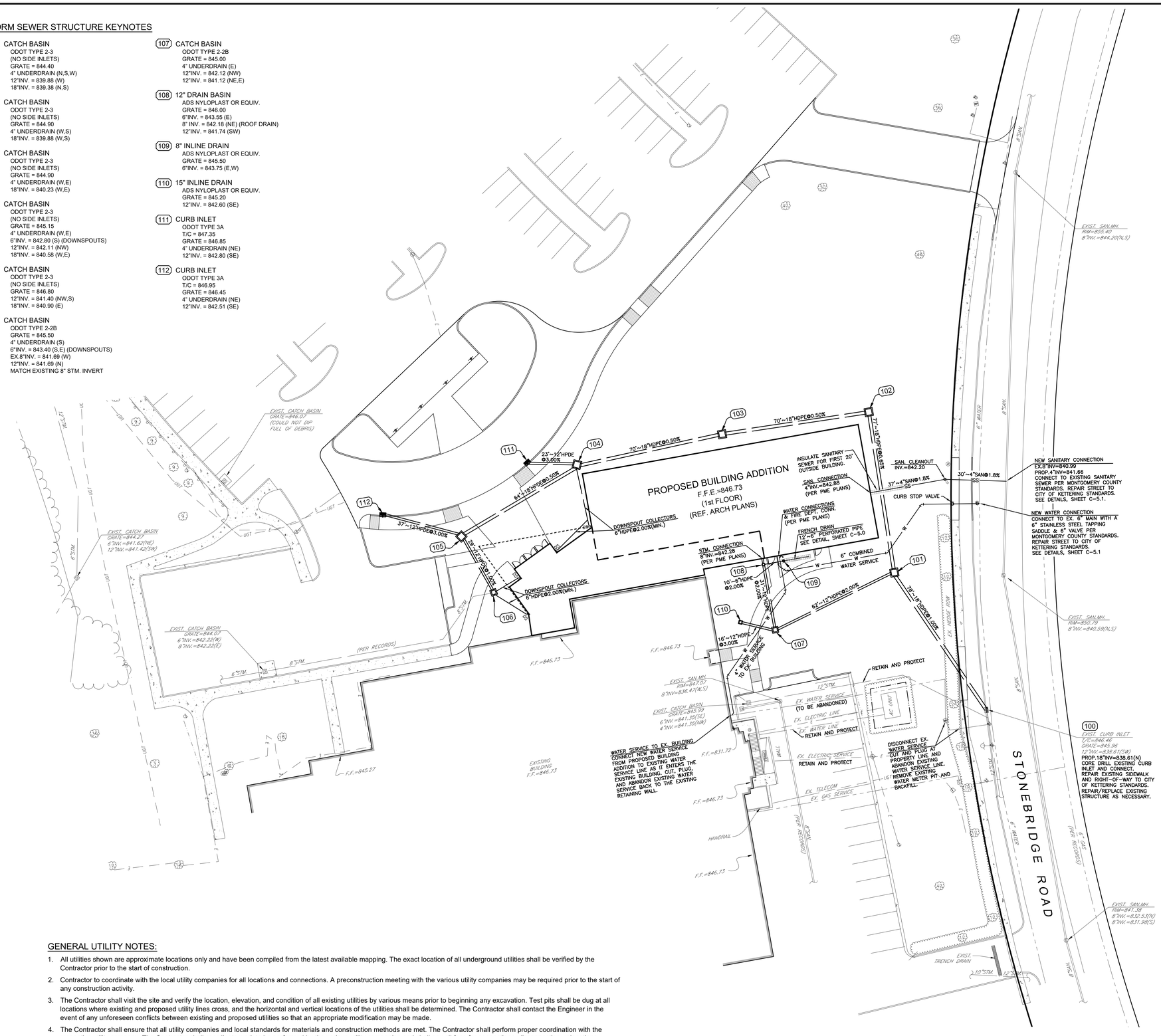
(108) 12" DRAIN BASIN
ADS NYLOPLAST OR EQUIV.
GRATE = 846.00
6"INV. = 843.55 (E)
8" INV. = 842.18 (NE) (ROOF DRAIN)
12"INV. = 841.74 (SW)

(109) 8" INLINE DRAIN
ADS NYLOPLAST OR EQUIV.
GRATE = 845.50
6"INV. = 843.75 (E,W)

(110) 15" INLINE DRAIN
ADS NYLOPLAST OR EQUIV.
GRATE = 845.20
12"INV. = 842.60 (SE)

(111) CURB INLET
ODOT TYPE 3A
T/C = 847.35
GRATE = 846.85
4" UNDERDRAIN (NE)
12"INV. = 842.80 (SE)

(112) CURB INLET
ODOT TYPE 3A
T/C = 846.95
GRATE = 846.45
4" UNDERDRAIN (NE)
12"INV. = 842.51 (SE)



GENERAL UTILITY NOTES:

1. All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
2. Contractor to coordinate with the local utility companies for all locations and connections. A preconstruction meeting with the various utility companies may be required prior to the start of any construction activity.
3. The Contractor shall visit the site and verify the location, elevation, and condition of all existing utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where existing and proposed utility lines cross, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact the Engineer in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
4. The Contractor shall ensure that all utility companies and local standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective utility company. The Contractor shall coordinate work to be performed by the various utility companies and shall pay all fees for connections, disconnection, relocations, inspections, and demolition.
5. This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
6. All valve boxes and curb boxes shall be adjusted to the final grades and located in grassed areas unless indicated otherwise on the plans.
7. The Contractor shall provide traffic bearing concrete collars and lids for all cleanouts, manholes, inlets, valves, etc. which are located in paved areas.
8. All existing pavement within the rights-of-way where utility piping is to be installed shall be saw cut and replaced or directionally bored in accordance with Local and/or State requirements. Existing pavement shall be repaired as necessary.
9. All utility lines and trenches shall be installed, bedded and backfilled according to manufacturer's specifications and to the satisfaction of Local and State Authorities.
10. Sanitary sewer laterals shall maintain (10' min. horizontal, 1.5' min. vertical) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
11. Roof drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.

Know what's below. Call before you dig.

SITE BENCHMARKS

Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

UTILITY LEGEND

	PROP. CATCH BASIN / INLET
	PROP. CLEAN OUT
	PROP. FIRE DEPT. CONNECTION
DS	PROP. DOWNSPOUT @ BUILDING
SS SS	PROP. SANITARY SEWER SERVICE
W W	PROP. WATER SERVICE
	PROP. STORM SEWER

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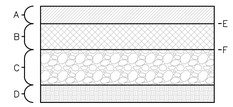
BURKHARDT
Project No: 18.230

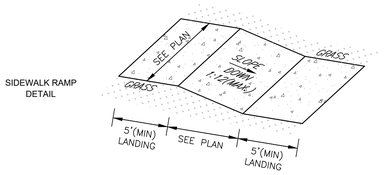
Sheet No.
C-4.0

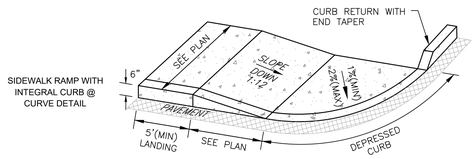
KEY
A – 1.5" ODOT ITEM 448 ASPHALT CONCRETE SURFACE COURSE, TYPE 1
B – 3.0" ODOT ITEM 448 ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2
C – 8" ODOT ITEM 304 AGGREGATE BASE
D – ODOT ITEM 204 SUBGRADE COMPACTION PER GEOTECH SPECIFICATIONS
E – ODOT ITEM 407 TACK COAT @ 0.05–0.15 GAL/SY
F – ODOT ITEM 408 PRIME COAT @ 0.5–0.8 GAL/SY

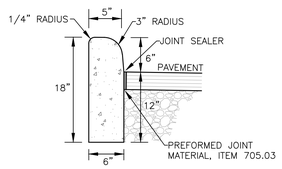


PAVEMENT SPECIFICATIONS PER PLANS FROM KHN CANCER CENTER'S ORIGINAL CONSTRUCTION AND PARKING EXPANSION PHASES. SUBGRADE PREPARATION AND COMPACTION PER GEOTECHNICAL RECOMMENDATIONS

ASPHALT PAVEMENT SECTION
NOT TO SCALE

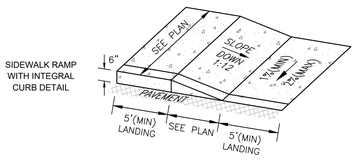


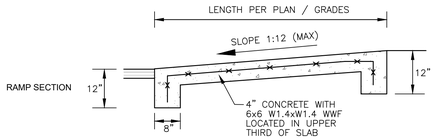




NOTES:
1. ODOT TYPE 6 CURB
2. PROVIDE A SMOOTH AND EVEN FINISH PLUS ROUNDED EDGING TO ALL EXPOSED SURFACES.

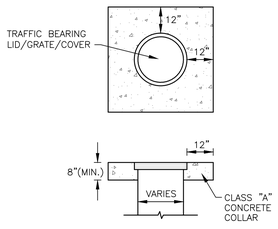
BARRIER CURB DETAIL
NOT TO SCALE





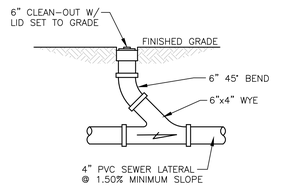
NOTES:
1. SEE SITE PLAN AND GRADING PLAN FOR LAYOUT AND ELEVATIONS
2. RAMPS TO COMPLY WITH ACCESSIBILITY/ADA STANDARDS

CONCRETE RAMP DETAILS
NOT TO SCALE



NOTE: COLLAR TO BE INSTALLED AROUND ALL STORM INLETS, MANHOLES, CLEANOUTS, PULL BOXES, VALVES, ETC. WHICH ARE LOCATED IN PAVEMENT AREAS.

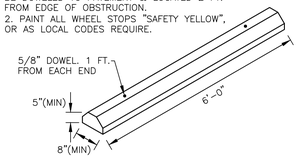
CONCRETE COLLAR
NOT TO SCALE



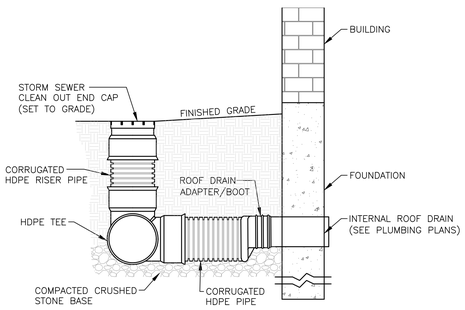
NOTE: CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

SANITARY CLEAN-OUT
NOT TO SCALE

NOTES:
1. PRE–CAST CONCRETE WHEEL STOPS SHALL BE DOWELED TO PAVEMENT & LOCATED 2 FT. FROM EDGE OF OBSTRUCTION.
2. PAINT ALL WHEEL STOPS "SAFETY YELLOW", OR AS LOCAL CODES REQUIRE.

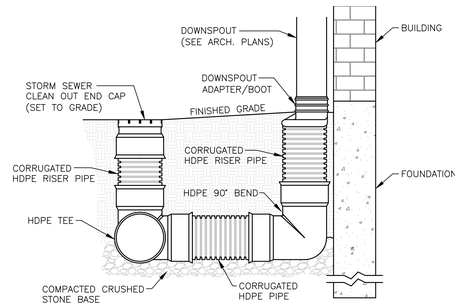


CONCRETE WHEEL STOP
NOT TO SCALE



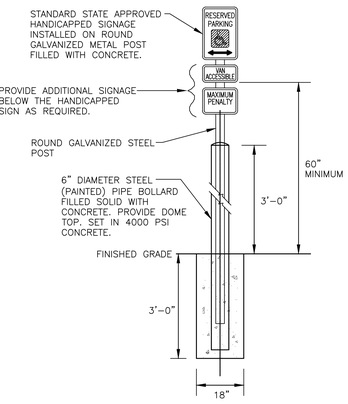
NOTES:
1. HDPE PIPE (ADS N–12 OR EQUIV.) MAY BE SUBSTITUTED WITH PVC PIPE.
2. ALL JOINTS ARE TO BE WATERTIGHT.
3. CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

DOWNSPOUT COLLECTION DETAIL FOR INTERNAL ROOF DRAINS
NOT TO SCALE

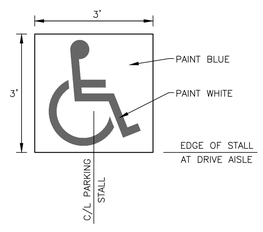


NOTES:
1. HDPE PIPE (ADS N–12 OR EQUIV.) MAY BE SUBSTITUTED WITH PVC PIPE.
2. ALL JOINTS ARE TO BE WATERTIGHT.
3. CLEAN OUT TO HAVE TRAFFIC BEARING LID AND CONCRETE COLLAR IF INSTALLED IN PAVEMENT AREAS.

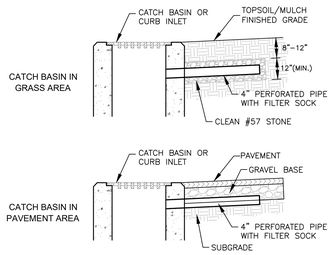
DOWNSPOUT COLLECTION DETAIL FOR EXTERIOR DOWNSPOUTS
NOT TO SCALE

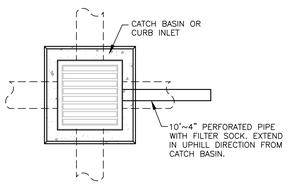


ADA SIGNAGE WITH PIPE BOLLARD DETAIL
NOT TO SCALE

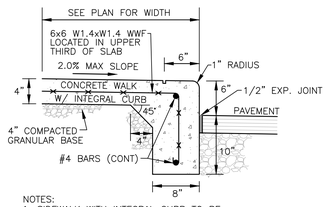


ADA PARKING SYMBOL
NOT TO SCALE



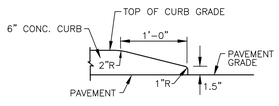


CATCH BASIN UNDERDRAIN DETAIL
NOT TO SCALE

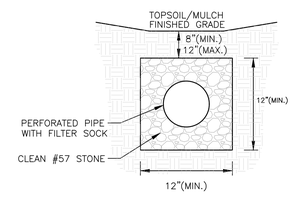


NOTES:
1. SIDEWALK WITH INTEGRAL CURB TO BE CONSTRUCTED OF 3500 PSI CONCRETE (MIN.).
2. SIDEWALK TO HAVE JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

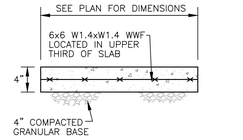
CONCRETE SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



CURB END TAPER DETAIL
NOT TO SCALE



FRENCH DRAIN DETAIL
NOT TO SCALE



NOTES:
1. SIDEWALK TO BE CONSTRUCTED USING 3500 PSI CONCRETE.
2. SIDEWALK TO HAVE TOOLED CONTROL JOINTS NOT EXCEEDING 5 FT. SPACING IN ANY DIRECTION.

CONCRETE SIDEWALK PAVEMENT SECTION
NOT TO SCALE

Know what's below. Call before you dig.

222 LINWOOD STREET
DAYTON, OHIO 45405
TEL: 937-461-5390
FAX: 937-461-8829
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STATE OF OHIO
JONATHAN D. BURKHARDT
E–80258
REGISTERED PROFESSIONAL ENGINEER
01.22.2019

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Issued
December 10, 2018

DETAILS

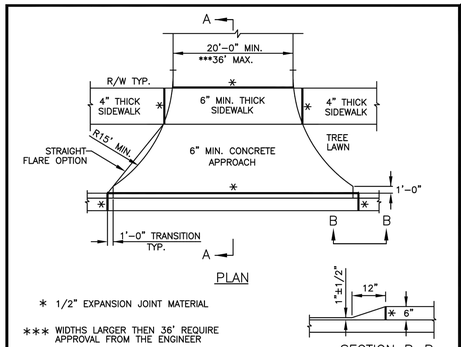
Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-5.0

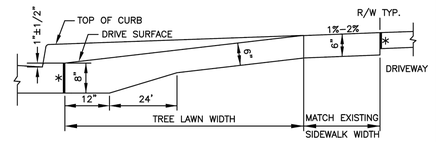


PLAN

* 1/2" EXPANSION JOINT MATERIAL

*** WIDTHS LARGER THEN 36' REQUIRE APPROVAL FROM THE ENGINEER

SECTION B–B



SECTION A–A

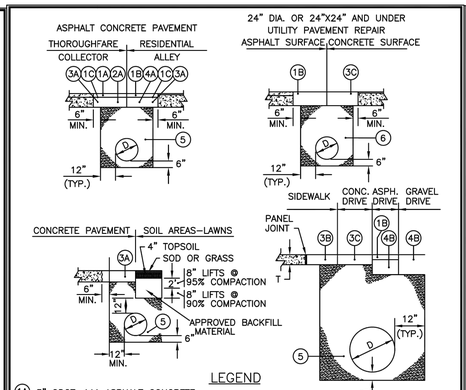
SEE DRIVE APPROACH NOTES ON SHEET #21

STANDARD DRAWING			K–608B COMMERCIAL DRIVE APPROACH	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 18

DRIVE APPROACH NOTES

1. MAXIMUM JOINT SPACING SHALL BE 8 FEET LONGITUDINALLY AND TRANSVERSELY.
2. THE FLARE ON RESIDENTIAL DRIVE APPROACHES SHALL BE A MINIMUM OF 4 FEET. ON RESIDENTIAL STREETS WHERE THE TREE LAWN IS LESS THAN 4 FEET, THE FLARE SHALL BE A 45° ANGLE. ON ALL OTHER STREETS (I.E. NON–RESIDENTIAL) WHERE THE TREE LAWN IS LESS THAN 8 FEET, THE FLARE SHALL BE A 45° ANGLE. IF THE TREE LAWN IS GREATER THAN 8 FEET THE FLARE SHALL BE AT THE DISCRETION OF THE ENGINEER.
3. THE SUBGRADE BENEATH THE PROPOSED DRIVE APPROACH IS TO BE COMPACTED TO THE MAXIMUM EXTENT PRACTICAL. A MINIMUM OF 3" OF GRAVEL (OR CRUSHED AGGREGATE) BASE SHALL BE PLACED UNDER THE DRIVE APPROACH IF DETERMINED NECESSARY BY THE ENGINEER.
4. CONCRETE SHALL MEET SPECS K–499 AND SHALL ONLY BE SUPPLIED THROUGH AN APPROVED READY MIX SUPPLIER.
5. WHERE ASPHALT CONCRETE PAVEMENT IS DISTURBED, THE ASPHALT SHALL HAVE A SAWED EDGE, BE REPLACED AND SEALED AS DIRECTED BY THE ENGINEER.
6. SAW CUT CURB AT BOTH ENDS. SAW CUT SHALL HAVE CLEAN AND STRAIGHT EDGES, AND SHALL BE THE FULL DEPTH OF THE CURB.
7. FOR CURB MONOLITHIC WITH CONCRETE STREET, SAW CUT PAVEMENT 21" FROM BACK OF CURB. SAW CUT TO HAVE CLEAN AND STRAIGHT EDGES, AND SHALL BE FULL DEPTH OF CURB AND PAVEMENT.
8. EXPANSION JOINT MATERIAL SHALL BE PLACED AS SHOWN ON SHEETS 20–24.
9. ANY TOOL MARKS LEFT BY EDGING SHALL BE ELIMINATED BY TEXTURING THE SURFACE. THE FINAL SURFACE SHALL BE BROOM FINISHED. RETOOLED JOINTS SHALL NOT BE CONSTRUCTED UNLESS APPROVED BY THE ENGINEER.
10. IF AN EXISTING SIDEWALK IS PRESENT THROUGH THE DRIVE, THE THE DRIVE APPOACH SHALL BE PLACED IN CONCRETE.
11. PATCH REPAIRS MAY ONLY BE USED AS A TEMPORARY MEASURE UNTIL REPLACEMENT IS POSSIBLE. ONCE PART OF A DRIVE APPROACH IS EXCAVATED, THE FULL DRIVE APPROACH IS TO MEET CURRENT SPECIFICATIONS. NO EXCAVATION MAY BE LESS THAN AN AREA CREATED BY STANDARD JOINT CONSTRUCTION. INTEGRAL DRIVE APPROACHES ARE NOT PERMITTED.

STANDARD DRAWING			K–608B DRIVE APPROACH NOTES	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 21



LEGEND

(1A) 3" ODOT–441 ASPHALT CONCRETE (TWO 1.5" LIFTS)

(1B) MATCH EXISTING, WITH A MINIMUM OF 2" ODOT–441 ASPHALT CONCRETE (1" MAX LIFTS)

(1C) TACK COAT (0.1 GAL/S.Y.)

(2A) 6"–8" K–301 ASPHALT CONCRETE BASE

(3A) 9" PORTLAND CEMENT CONCRETE (THOROUGHFARES/COLLECTORS) DOWELS PER K–255, SHEETS 5 & 6 6" MIN. PORTLAND CEMENT CONCRETE, K–452 (RESIDENTIAL) (SEE ROADWAY RESTORATION & TRENCH NOTES, SHEET 2)

(3B) 4" PORTLAND CEMENT CONCRETE, K–608 6" PORTLAND CEMENT CONCRETE, K–608 ON DRIVE APPROACH AREA

(3C) MATCH EXISTING, WITH A MINIMUM OF 6" PORTLAND CEMENT CONCRETE, K–608

(4A) 5" MIN. K–301 ASPHALT CONCRETE BASE (2.5" MAX LIFTS)

(4B) 6" K–304 AGGREGATE BASE

(5) APPROVED GRANULAR BACKFILL, OR LOW STRENGTH MORTAR (AS DIRECTED BY THE ENGINEER)

(6) LOW STRENGTH MORTAR 100

STANDARD DRAWING			ROADWAY & TRENCH RESTORATION	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 1

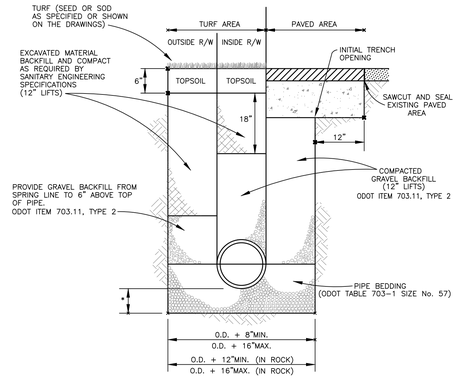
ROADWAY AND TRENCH RESTORATION NOTES

1. ALL RESTORATION TO BE OF THE SAME OR GREATER THICKNESS AS EXISTING, AS SPECIFIED IN THESE STANDARDS AND/OR THE CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE CITY OF KETTERING.
2. WHEN DIRECTED BY THE ENGINEER, LOW STRENGTH MORTAR BACKFILL (LSM–100, PER ODOT SPEC 613) SHALL BE USED FOR BACKFILL.
3. DURING PERIODS OF INCLEMENT WEATHER, A TEMPORARY REPAIR MAY BE PERMITTED. APPROVED GRANULAR BACKFILL OR FAST–SET LOW STRENGTH MORTAR, LSM–100, (AS DIRECTED BY THE ENGINEER) MAY BE USED AS BACKFILL AND SHALL BE PLACED TO MATCH THE BOTTOM ELEVATION OF THE EXISTING PAVEMENT SECTION SURROUNDING THE UTILITY CUT. TEMPORARY CONCRETE AND OR ASPHALT MAY THEN BE PLACED AND LEVELED TO BE FLUSH WITH THE EXISTING PAVEMENT SURFACE ELEVATION. THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE CONCRETE FROM FREEZING UNTIL IT HAS PROPERLY CURED. WHEN CONDITIONS ALLOW, THE TEMPORARY CONCRETE AND/OR ASPHALT SHALL BE REMOVED AND REPLACED WITH A PERMANENT REPAIR, AS SPECIFIED ON THE PREVIOUS SHEET.
4. SAW CUT ALL EDGES SQUARE AND EVEN. IN CONCRETE, SAW A MINIMUM OF 2" OR T/3, WHICHEVER IS GREATER.
5. SEAL ASPHALT EDGES WITH LIQUID A.C.
6. ON ALL THOROUGHFARES, HIGH EARLY STRENGTH (FAST SET) CONCRETE SHALL BE USED FOR CONCRETE PAVEMENT RESTORATION.
7. ALL CONCRETE PAVEMENT REPAIRS AND ALL ADJACENT REMAINING PANELS SHALL HAVE A MINIMUM OF 5' DIMENSION IN ANY DIRECTION. PANEL REPAIRS SHALL BE EXTENDED TO THE NEAREST EXISTING JOINT IF THE REPAIR AREA IS WITHIN 5' OF AN EXISTING JOINT, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
8. THE SPECIFIED RESTORATION THICKNESSES ARE CONSIDERED AS MINIMUMS. WHERE EXISTING MATERIALS ARE THICKER, THE RESTORATION MATERIAL SHALL MATCH THE EXISTING THICKNESS.
9. CONCRETE SHALL MEET SPEC K–499 AND SHALL BE SUPPLIED THROUGH A CITY OF KETTERING APPROVED READY MIX SUPPLIER.
10. FOR REPAIRS TO CONCRETE PAVEMENT, REFER TO CONCRETE PAVEMENT REPAIR STANDARD DRAWINGS AND CONSTRUCTION MATERIAL SPECIFICATIONS FOR REPAIR STANDARDS.
11. A RIGHT–OF–WAY CONSTRUCTION PERMIT IS REQUIRED FOR ALL EXCAVATION WITHIN THE CITY RIGHT–OF–WAY AND CITY EASEMENT.
12. COMPACTION OF ASPHALT LIFTS PER ENGINEER'S DIRECTION.

STANDARD DRAWING			ROADWAY & TRENCH RESTORATION NOTES	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 2

FOR PAVEMENT AND TURF RESTORATION
SEE MONTGOMERY COUNTY SANITARY ENGINEERING
DEPARTMENT STANDARD SPECIFICATIONS SECTION 02512

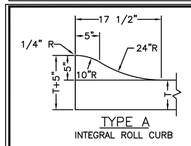
NOTE: ALL RESTORATION MUST COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION



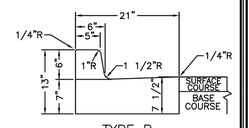
* 6" OR PIPE O.D. (INCHES) WHICHEVER IS LARGER
8

** RIGID PIPE = DUCTILE IRON, CONCRETE PRESSURE PIPE, VITRIFIED CLAY PIPE, OR REINFORCED CONCRETE PIPE.

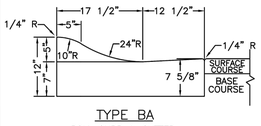
PIPE BEDDING AND TRENCH DETAIL FOR RIGID PIPE
(MONTGOMERY COUNTY WATER SERVICES)
NOT TO SCALE



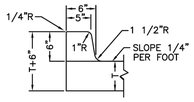
TYPE A
INTEGRAL ROLL CURB



TYPE B
CURB & GUTTER



TYPE BA
ROLL CURB & GUTTER



TYPE C
INTEGRAL CURB AND GUTTER

SEE CURB & GUTTER NOTES ON SHEET #27

1 of 2

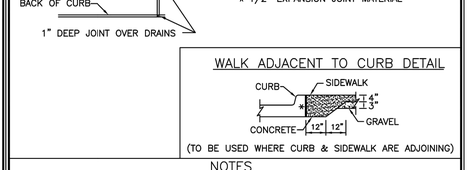
STANDARD DRAWING			K–609 CURB AND GUTTER	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 22

CURB AND GUTTER NOTES

1. ANY VARIANCES FROM THESE STANDARDS REQUIRE APPROVAL BY THE ENGINEER.
2. USE OF EXTRUDED CURB REQUIRES APPROVAL BY THE ENGINEER.
3. ON CONCRETE STREETS, TRANSVERSE JOINTS SHALL BE EXTENDED THROUGH INTEGRAL CURBS. JOINTS IN ODOT TYPE 6 AND MODIFIED TYPE C CURB SHALL BE PLACED IN LINE WITH TRANSVERSE CONCRETE PAVEMENT JOINTS.
4. ON ASPHALT STREETS, TYPE B & BA AND ODOT TYPE 6 MEDIAN CURB SHALL HAVE JOINTS AT A MAXIMUM OF EVERY 10 FEET.
5. THE SUBGRADE BENEATH THE PROPOSED CURB & GUTTER IS TO BE COMPACTED TO THE MAXIMUM EXTENT PRACTICAL. A MINIMUM OF 3" OF GRAVEL (OR CRUSHED AGGREGATE) BASE SHALL BE PLACED UNDER THE CURB & GUTTER IF DETERMINED NECESSARY BY THE ENGINEER.
6. ONE–HALF INCH EXPANSION JOINT MATERIAL OR OTHER APPROVED EXPANSION JOINT MATERIAL SHALL BE USED WITH COMBINED CURB & GUTTER AND MEDIAN CURB AS FOLLOWS (TYPE B, BA & ODOT TYPE 6):
   - * EACH SIDE OF DEPRESSED CURB
   - * AT P.C. POINTS AND MEDIAN RADII
   - * AT EACH SIDE OF DRIVE APPROACH AND CATCH BASINS
   - * MAXIMUM SPACING SHALL NOT EXCEED 50 FEET
   - * THE MATERIAL SHALL BE PLACED STRAIGHT AND SQUARE THROUGHOUT THE ENTIRE CURB SECTION.
7. ALL CURBS SHALL BE BACKFILLED PRIOR TO PAVING AND/OR BEFORE THEY ARE TO SUPPORT ANY VEHICULAR TRAFFIC.
8. DRAIN TILE THROUGH THE CURB SHALL BE INSTALLED ONLY WHEN APPROVED BY THE ENGINEER. DRAIN TILE THROUGH CURB SHALL HAVE A MIN. OF 3" OF COVER. UNLESS WAIVED BY THE ENGINEER, A CONTRACTION JOINT SHALL BE PLACED OVER THE OPENING AND THE GUTTER PANEL.
9. USE ODOT BP–2.1 HOOK BOLT OR APPROVED ALTERNATE AS REQUIRED IN THESE STANDARD DRAWINGS OR BY THE ENGINEER.
10. CONCRETE SHALL MEET KETTERING SPECS K–499 AND SHALL ONLY BE SUPPLIED THROUGH AN APPROVED READY MIX SUPPLIER.
11. CONCRETE CURB (AND GUTTER) SPOT REPLACEMENT SECTIONS SHALL BE A MINIMUM OF THREE (3) FEET IN LENGTH. THE REPLACEMENT SECTION SHALL BE EXTENDED TO THE NEAREST EXISTING JOINT IF THE END OF THE REPLACEMENT SECTION IS WITHIN TWO (2) FEET OF THE NEAREST EXISTING JOINT.
12. THE SUBGRADE BENEATH CURB (AND GUTTER) SPOT REPLACEMENT SECTIONS SHALL BE FULLY COMPACTED TO THE MAXIMUM EXTENT PRACTICABLE BEFORE NEW CONCRETE IS PLACED. APPROVED GRANULAR MATERIAL SHALL BE USED TO PREPARE THE SUBGRADE, IF THE EXISTING SUBGRADE IS DETERMINED TO BE UNSUITABLE BY THE ENGINEER.

STANDARD DRAWING			K–609 CURB AND GUTTER NOTES	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 24

SIDEWALK DETAILS



* 1/2" EXPANSION JOINT MATERIAL

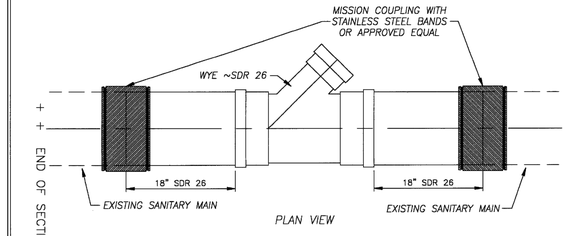
WALK ADJACENT TO CURB DETAIL

(TO BE USED WHERE CURB & SIDEWALK ARE ADJOINING)

NOTES

1. SIDEWALK SHALL BE A MINIMUM OF 5' WIDE OR MATCH EXISTING ON 50' R/W STREETS, OR WIDTH AS DIRECTED BY THE ENGINEER.
2. SIDEWALK SHALL BE 4" THICK, EXCEPT WHEN THROUGH DRIVEWAYS (6" THICK), AND WHEN ADJACENT TO CURB (VARIABLE THICKNESS AS SHOWN ABOVE).
3. EXPANSION JOINT MATERIAL OR APPROVED EQUAL, SHALL BE PLACED AS SHOWN. A MAXIMUM SPACING OF 50' FOR NEW CONSTRUCTION, BOTH SIDES OF EXISTING CONCRETE FOR REPLACEMENT SECTIONS EQUAL TO OR GREATER THEN 15' OR ONE SIDE OF EXISTING CONCRETE FOR REPLACEMENT SECTION LESS THEN 15'.
4. THE SUBGRADE BENEATH THE PROPOSED SIDEWALK IS TO BE COMPACTED TO THE MAXIMUM EXTENT PRACTICAL. A MINIMUM OF 3" OF GRAVEL (OR CRUSHED AGGREGATE) BASE SHALL BE PLACED UNDER THE SIDEWALK IF DETERMINED NECESSARY BY THE ENGINEER.
5. CONCRETE SHALL MEET SPECS K–499 AND SHALL ONLY BE SUPPLIED THROUGH A CITY OF KETTERING APPROVED READY MIX SUPPLIER.
6. SIDEWALKS SHALL BE SLOPED BETWEEN 1 AND 2% TOWARD THE STREET, OR AS APPROVED BY THE ENGINEER.
7. ANY TOOL MARKS LEFT BY EDGING SHALL BE ELIMINATED BY TEXTURING THE SURFACE. THE FINAL SURFACE SHALL BE BROOM FINISHED. RETOOLED JOINTS SHALL NOT BE CONSTRUCTED UNLESS APPROVED BY THE ENGINEER.

STANDARD DRAWING			K–608A SIDEWALK DETAIL	APPROVAL CITY ENGINEER	
DATE	REVISION	BY	City of Kettering	JANUARY 2019	SHEET 7



PLAN VIEW

NOTE:
FOR EXISTING TRANSITE PIPE OR VITRIFIED CLAY PIPE USE NEW VITRIFIED CLAY OR PVC WYE WITH MISSION COUPLING WITH STAINLESS STEEL SHEAR BANDS OR EQUAL.
FOR EXISTING PVC PIPE USE INSERTA TEE OR EQUAL * OR PVC WYE WITH MISSION COUPLING WITH STAINLESS STEEL SHEAR BANDS OR EQUAL.
FOR EXISTING CONCRETE PIPE USE INSERTA TEE * OR EQUAL.
LATERAL MUST BE ROTATED TO THE 10 O'CLOCK OR 2 O'CLOCK POSITION.
BEDDING AND BACKFILL SHALL BE ACCORDING TO CURRENT SPECIFICATIONS.

* NOTE: CORING INTO MAIN MUST BE DONE WITH AN APPROVED CORING DEVICE.

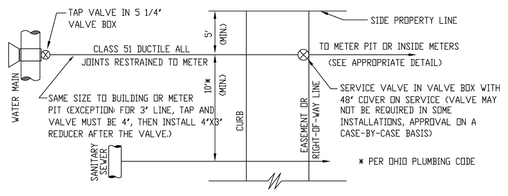
MONTGOMERY COUNTY WATER SERVICES

TYPICAL SERVICE CONNECTION TO EXISTING SANITARY SEWER

SCALE : NONE | DATE : 11/01/06
FILE NAME: WYE

Revised - 11/26/08

3" AND LARGER SERVICES (DOMESTIC) AND COMBINATION FIRE/DOMESTIC



* PER OHIO PLUMBING CODE

GENERAL NOTE:

CONTACT MCWS FOR COURSE OF ACTION FOR ANY SITUATION NOT COVERED IN HANDBOOK

MONTGOMERY COUNTY WATER SERVICES

TYPICAL SERVICE INSTALLATION
(1 1/2", 2", 3", OR LARGER SERVICE)

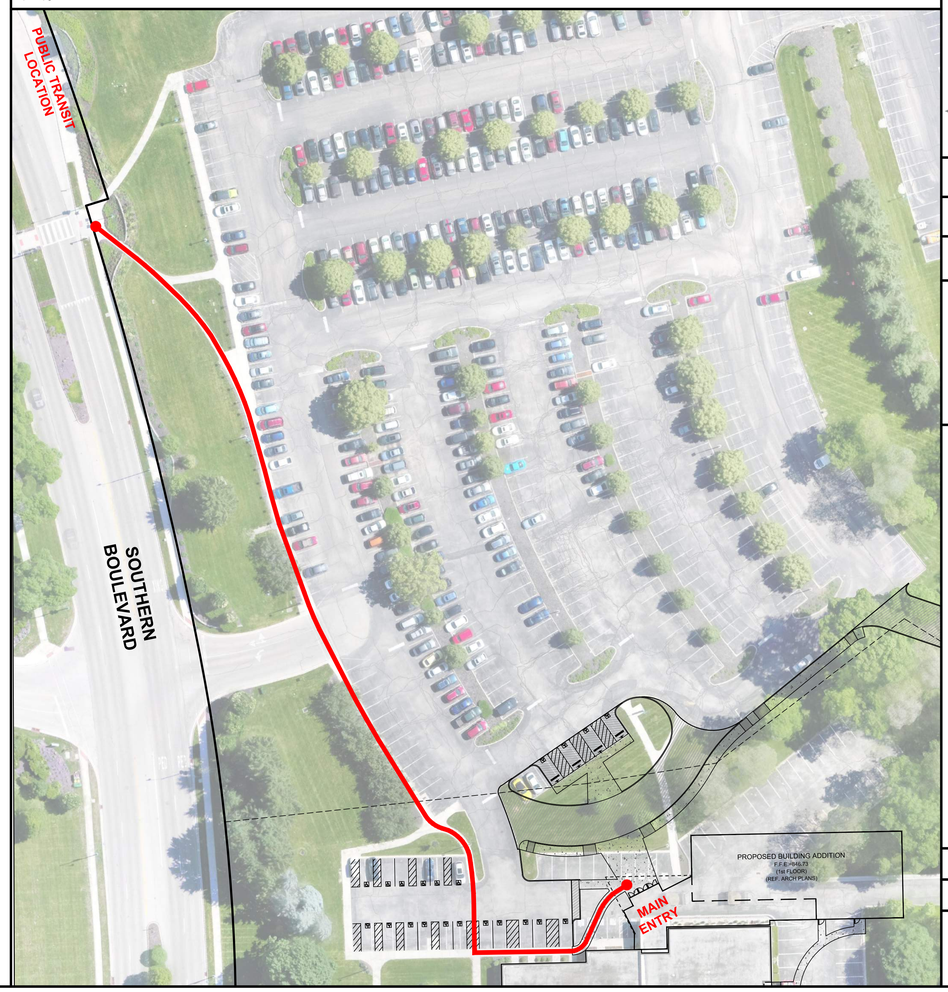
SCALE : NONE | DATE : 11/01/06
FILE NAME: EDETAIL2

Revised - 11/26/08

Know what's below. Call before you dig. 811

PEDESTRIAN CONNECTION EXHIBIT

1"=40'



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Issued
December 10, 2018

CITY AND COUNTY DETAILS

Revisions:
1 01.22.2019 City Comments

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-5.1

GENERAL STORMWATER POLLUTION PREVENTION NOTES

1. All erosion and sediment control practices must conform to the standards and specifications set forth by the Local, State, and Federal Authorities.
2. Construction activities shall be scheduled such that a minimum area of the site is disturbed at a time. Construction operation shall be scheduled and performed so that preventative soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations. Contractor shall reduce effects of storm water by using and/or maintaining grassed swales, infiltration structures, or water diversions.
3. Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
4. Cleanup will be done in a manner to ensure that erosion control measures are not disturbed.
5. The soil erosion controls are to be inspected once a week and within 24 hours of a 0.50 inch or greater rain event. A written log of these inspections and improvements to controls shall be kept on site. The logs shall include the date of inspection, name of the inspector, weather conditions, actions taken to correct any problems and the date corrective actions were taken.
6. Temporary soil stabilization shall occur within 7 days after rough grading if the area will remain idle longer than 14 days. Any disturbed area that is not going to be worked for 365 days or more must be permanently stabilized (seeded and mulched) within 7 days of most recent disturbance.
7. Trenches for underground utility lines and pipes shall be temporarily stabilized within 7 days if they are to remain inactive for 14 days. Trench dewatering devices shall discharge in a manner that filters soil-laden water before discharging it to a receiving drainage ditch or pond. If seeding, mulching or other erosion and sediment control measures were previously installed; these protective measures shall be reinstalled. Pipelines with joints that allow a manufactured length of pipe to be placed in the trench with the pipe joint assembled/made in the trench require an open pipeline trench that is only slightly longer than the length of pipe being installed. The total length of excavated trench open at any time should not be greater than the total length of pipeline/utility that can be placed in the trench and backfilled in one working day. No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the work day.
8. Soil stockpiles shall be stabilized or protected to prevent soil loss.
9. All disturbed areas shall be permanently stabilized within 7 days of final grading. Further, soil erosion control measures shall be maintained until permanent stabilization is complete, at which time temporary measures will be removed. Permanent vegetation is a ground cover dense enough to cover 80% of the soil surface and mature enough to survive winter weather conditions.
10. Silt fence to be 2' minimum from property lines in areas where work is near adjacent properties.
11. The Contractor shall establish a permanent on-site benchmark prior to clearing, grubbing and/or demolition.
12. Haul Routes - The Contractor shall be responsible for the cleanup of any mud, dirt, or debris deposited on haul roads as a result of his operations. Soil shall be removed from roads and paved surfaces at the end of each day in such a manner that does not create off-site sedimentation in order to ensure safety and abate off-site soil loss. Collected sediments shall be placed in a stable location on site or taken off-site to a stable location. Contractor shall use State Routes (and shortest distance non-state routes) for project haul route.
13. No solid or liquid waste shall be discharged into storm water runoff.
14. Disposal of solid, sanitary and toxic waste - Solid, sanitary and toxic waste must be disposed of in a proper manner in accordance with local, state and federal regulations. It is prohibited to burn, bury or pour out onto ground or into storm sewer any solvents, paint, stains, gasoline, diesel fuel, used motor oil, hydraulic fluid, antifreeze, cement curing compounds and other such toxic or hazardous waste.
15. Wash out of cement trucks should occur in the designated area where the washing can collect and be disposed of properly when it hardens.
16. If a concrete washout area, and/or a stockpile area are needed, a delineated area for each must be provided and maintained for them. Areas can be located in an alternate location than that shown on the plans if necessary due to construction operations and other field considerations.
17. No fuel storage is permitted on-site.
18. All storm sewers, infiltration, detention, and retention areas shall be cleared of construction sediment upon completion of construction.
19. The General Contractor shall be responsible for submitting a Notice of Intent (NOI) and Notice of Termination (NOT) as required by the Ohio EPA
20. The General Contractor is responsible for ensuring that all soil erosion and sediment control practices comply with the Ohio EPA's General Permit for Construction No. OHC000005 and follow the best practices set forth in the ODNR Rainwater and Land Development Manual.
21. Dumpsters shall be provided for the disposal of debris, trash, hazardous and petroleum waste. All containers must be covered and leak proof.
22. All construction and demolition debris waste will be disposed of in an OEPA approved C&DD landfill as required by Ohio Revised Code 3714.
23. Any areas that will be used for mixing or storing fertilizers, lime, asphalt or concrete or used for vehicle fueling shall be designated and these areas should be kept away from any watercourses or storm sewers.
24. A Spill Prevention Control and Countermeasures (SPCC) Plan shall be developed if the site has one above ground storage tank of 660 gallons or more, total above ground tank storage of 1330 gallons, or below ground storage of 42,000 gallons of fuel.
25. All contaminated soils must be treated and/or disposed in OEPA approved soild waste management facilities or hazardous waste treatment, storage or disposal facilities (TSDFs).
26. In the event of a large release of petroleum waste (25 gallons or more) contractor shall contact OEPA at 1-800-282-9378, the local fire department and the local emergency planning committee (LEPC) within 30 minutes of spill.
27. Protected storage areas for industrial or construction materials shall be used to minimize exposure of such materials to storm water.
28. If the Contractor uses pumps to assist in construction dewatering efforts, the water must be filtered prior to discharging it into the municipal storm sewer system, ensuring that no soil, silt or sediment enters the system.

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION

1. Stone tracking pad atop geotextile liner.
2. Install silt fence and protection fencing.
3. Initial clearing, grubbing, and demolition.
4. Strip and stockpile top soil.
5. Rough grade and balance site.
6. Install underground utilities (i.e. Sanitary, Storm & Water)
7. Place inlet filters on all storm inlets.
8. Install franchise utilities (i.e. Gas, Electric, Telephone & Cable TV).
9. Final grade site.
10. Install pavement, curb, and other hardscape structures/surfaces.
11. Stabilize ditches, swales, common areas and slopes.
12. Establish permanent vegetation for all disturbed areas.
13. Remove all temporary erosion and sediment control devices.
14. Clean out storm sewer system, infiltration, detention, and retention areas upon completion.

SOIL EROSION CONTROL MAINTENANCE

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as necessary.
- Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrance shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way.
- Sediment from the storm sewers, infiltration, detention, and retention areas shall be removed as necessary to maintain proper functionality.

SOIL EROSION CONTROL NOTES

All stormwater inlets shall be protected with Geotextile Inlet Protection or Inlet Filters (Dandy Products, Flexstorm, or equivalent).

INSPECTION NOTES:

Inspections shall be made weekly and within 24 hours after a rain event of 0.5 inches within a 24 hour period.

Only qualified inspection personnel shall perform inspections.

Inspection checklist shall be completed and signed by the inspector after every inspection.

The inspection records are to be kept 3 years after termination of construction activity.

Non sediment pond BMPs are to be repaired 3 days after inspections and sediment ponds to be repaired or cleaned out within 10 days after inspection.

If a BMP is not functioning like it was intended to it shall be replaced within 10 days of inspection.

For missing BMPs they shall be installed within 10 days of inspection.

DISTURBED AREA CALCULATIONS AND RUNOFF COEFFICIENTS

Total Area Disturbed = 1.35 Acres

Pre-Developed Condition:
Percent Impervious = 41.5% (0.56 Acres)
Runoff Coefficient = 0.51

Post-Developed Condition:
Percent Impervious = 37.8% (0.51 Acres)
Runoff Coefficient = 0.48

*Runoff Coefficient Used for Impervious Areas = 0.95
*Runoff Coefficient Used for Lawns = 0.20

SITE OVERVIEW:

NATURE OF CONSTRUCTION ACTIVITY: Project consists of demolishing a portion of the existing parking lot on-site and constructing a new building addition. Various pavement areas and sidewalks will also be constructed to service the new facilities. Mass grading will be performed as necessary to construct the project and we anticipate that a significant amount of existing soil will need to be transported off site due to the poor existing soil conditions as well as the grading cuts expected. The existing storm water enters the City of Kettering municipal storm sewer system in Stonebridge Road and the proposed development will maintain that condition after construction is complete. The development will reduce the amount of storm water runoff from the site so no new detention facilities have been planned as part of this project. Soil erosion control measures will be implemented throughout construction to prevent soil, silt, and other debris from entering the public storm sewer system.

TOTAL AREA TO BE DISTURBED: Approximately 1.35 acres will be disturbed.

EXISTING SOILS: Site consists of Fox Silt Loam and Ockley Silt Loam.

EXISTING LAND USE: Land is currently used as parking area for the Kettering Seventh-Day Adventist Church along with some lawn space. Land use will change to a new building addition with some parking areas / driveways and lawn space. Property is not known to have had hazardous or solid waste.

NAME OF SURFACE WATER: Site drains into the public storm sewer in Stonebridge Road which ultimately drains into an unnamed tributary to Great Miami River.

WETLANDS: There are no wetlands in the work area.

NOTE:
Contractor to determine best locations for construction entrance, concrete washout, dumpsters, and other SWPPP elements. All dirt and sediment to be kept off public streets and parking lot areas.

*SOIL EROSION CONTROL AND SWPPP DETAILS ARE PROVIDED ON SHEET C-6.1

SOIL EROSION CONTROL LEGEND

- SILT FENCE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION (DANDY SACK / DANDY CURB)
- STABILIZE SLOPE AS NECESSARY THROUGHOUT CONSTRUCTION
- LIMITS OF DISTURBED AREA

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

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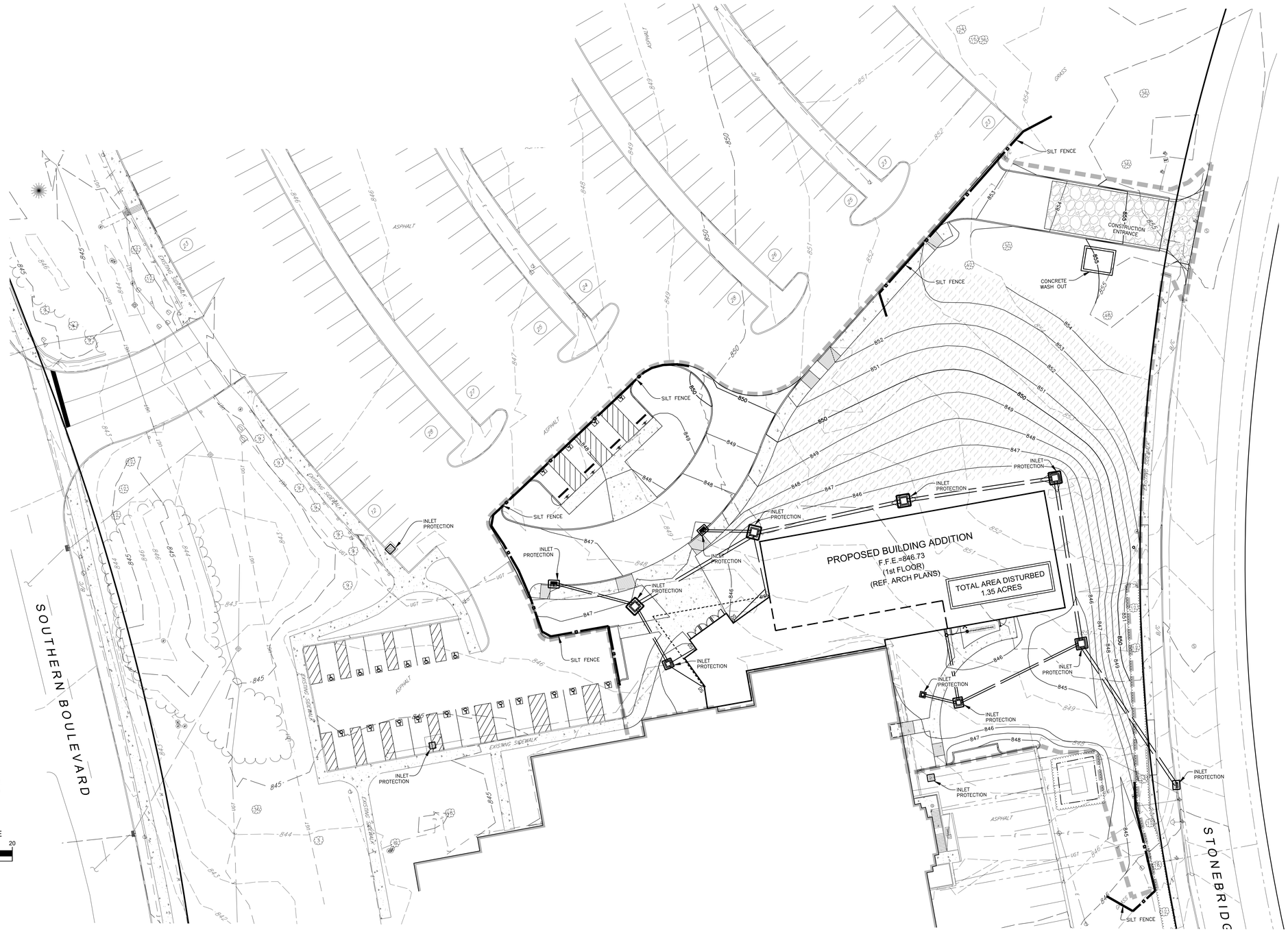
SITE BENCHMARKS
Existing Finished Floor at Elevation 846.73 is to be used as the site benchmark. If Contractor wishes to establish additional site benchmarks, please contact BURKHARDT at 937-388-0060



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STATE OF OHIO
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REGISTERED PROFESSIONAL ENGINEER
01.22.2019

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Issued
December 10, 2018

STORM WATER POLLUTION PREVENTION PLAN

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NEW ADDITION TO
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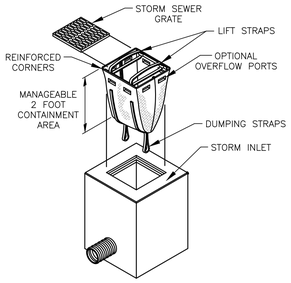
3939 Stonebridge Rd. Kettering, Ohio

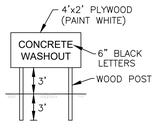
Comm No.
61716

BURKHARDT
Project No: 18.230

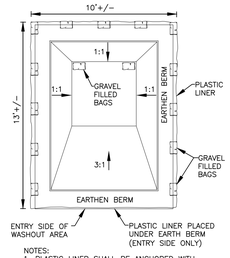
Sheet No.
C-6.0



DANDY SACK™ DETAIL
NOT TO SCALE

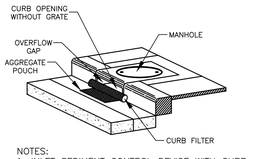


CONCRETE WASHOUT SIGN
NOT TO SCALE



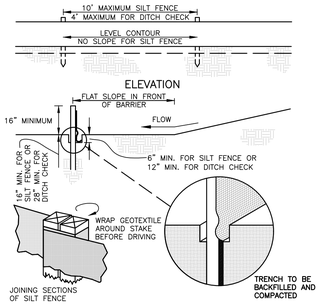
NOTES:
1. PLASTIC LINER SHALL BE ANCHORED WITH GRAVEL-FILLED BAGS.
2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE CONCRETE WASHOUT AREA.

CONCRETE WASHOUT AREA
NOT TO SCALE

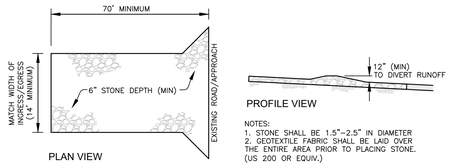


NOTES:
1. INLET SEDIMENT CONTROL DEVICE WITH CURB FILTER TO BE INSTALLED ON EXISTING PAVEMENT

DANDY CURB™ DETAIL
NOT TO SCALE

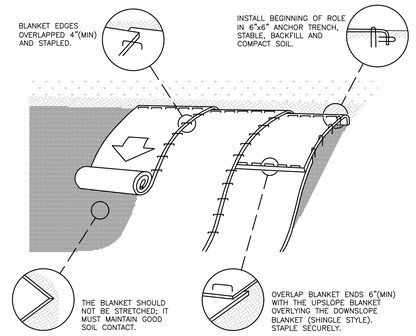


SILT FENCE & SILT DITCH CHECK DETAIL
NOT TO SCALE



NOTES:
1. STONE SHALL BE 1.5"–2.5" IN DIAMETER
2. GEOTEXTILE FABRIC SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. (US 200 OR EQUIV.)

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



NOTES:
1. STARTING AT TOP OF SLOPE, ROLL BLANKETS IN DIRECTION OF WATER FLOW.
2. PREPARE SEED BED (INCLUDING APPLICATION OF LIME, FERTILIZER & SEED) PRIOR TO INSTALLATION OF BLANKET.
3. REFER TO MANUFACTURER'S RECOMMENDED STAPLING PATTERN FOR STEEPNESS AND LENGTH OF SLOPE BEING BLANKETED.

EROSION CONTROL BLANKET
NOT TO SCALE

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01.22.2019

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Issued
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STORM WATER POLLUTION PREVENTION PLAN DETAILS

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1 01.22.2019 City Comments

NEW ADDITION TO
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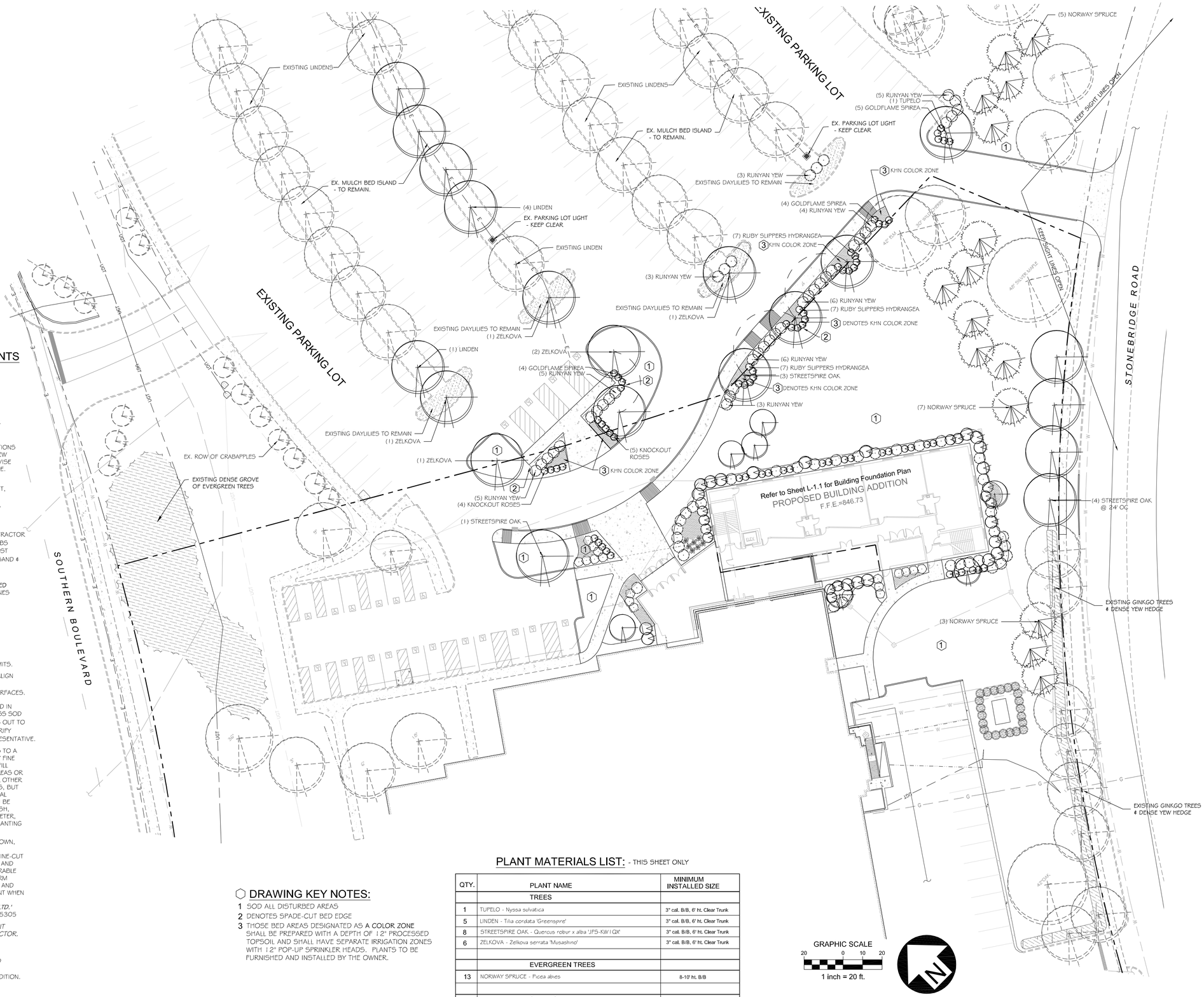
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
C-6.1



GENERAL LANDSCAPE REQUIREMENTS

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. SET ALL SHRUBS A MIN. OF 3' FROM STRUCTURES; WALLS, CURBS AND WALKS. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE PROJECT MANAGER BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS AS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 8" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL NEW BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART COMPOST 3 PARTS TOPSOIL. BACKFILL TAXUS WITH ONE PART SAND & ONE PART COMPOST TO ONE PART TOPSOIL.

   THOSE BED AREAS DESIGNATED AS **A COLOR ZONE** SHALL BE PREPARED WITH A DEPTH OF **12" PROCESSED TOPSOIL** AND SHALL HAVE SEPARATE IRRIGATION ZONES WITH 12" POP-UP SPRINKLER HEADS. PLANTS TO BE FURNISHED AND INSTALLED BY THE OWNER.
6. MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH PERENNIALS WITH 2" DEPTH OF MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS.
7. ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
8. A MINIMUM DEPTH OF 6" OF TOPSOIL SHALL BE PLACED IN ALL NEW LAWN AREAS. PREMIUM KENTUCKY BLUE GRASS SOD SHALL BE PLACED IN ALL NEW LAWN AREAS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT MANAGER & THE OWNERS REPRESENTATIVE.

   A. FINE GRADING: GRADE PROPOSED LAWN AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. SMALL AREAS OR THOSE NEXT TO TREES, PLANTED AREAS, WALLS OR OTHER STRUCTURES WILL BE FINE GRADED BY HAND TOOLS, BUT LARGER AREAS WILL BE FINE GRADED BY MECHANICAL DEVICES. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED WITHIN IMMEDIATE FUTURE. REMOVE TRASH, DEBRIS, STONES LARGER THAN 1-1/2 INCHES DIAMETER, AND OTHER OBJECTS THAT MAY INTERFERE WITH PLANTING OR MAINTENANCE OPERATIONS.

   B. SOD SHALL BE THE BEST QUALITY, NURSERY GROWN, PREMIUM KENTUCKY BLUEGRASS. CERTIFIED SOD COMPLYING WITH ASPA SPECIFICATIONS FOR MACHINE-CUT THICKNESS, SIZE, STRENGTH, MOISTURE CONTENT, AND MOWED HEIGHT, AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE VIABLE SOD OF UNIFORM DENSITY, COLOR AND TEXTURE, STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.
   SOD SHALL BE FROM '*GREEN VELVET SOD FARMS, LTD.*' 3620 UPPER BELLBROOK RD., BELLBROOK, OHIO 45305
9. *LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR.*
10. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF OF ACCEPTANCE. PRIOR TO END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

DRAWING KEY NOTES:

1 SOD ALL DISTURBED AREAS
2 DENOTES SPADE-CUT BED EDGE
3 THOSE BED AREAS DESIGNATED AS **A COLOR ZONE** SHALL BE PREPARED WITH A DEPTH OF 12" PROCESSED TOPSOIL AND SHALL HAVE SEPARATE IRRIGATION ZONES WITH 12" POP-UP SPRINKLER HEADS. PLANTS TO BE FURNISHED AND INSTALLED BY THE OWNER.

PLANT MATERIALS LIST: - THIS SHEET ONLY

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
	TREES	
1	TUPELO - Nyssa sulvatica	3" cal. B/B, 6' ht. Clear Trunk
5	LINDEN - Tilia cordata 'Greenspire'	3" cal. B/B, 6' ht. Clear Trunk
8	STREETSPIRE OAK - Quercus robur x alba 'JFS-KW1QX'	3" cal. B/B, 6' ht. Clear Trunk
6	ZELKOVA - Zelkova serrata 'Musashino'	3" cal. B/B, 6' ht. Clear Trunk
	EVERGREEN TREES	
13	NORWAY SPRUCE - Picea abies	8-10' ht. B/B
	SHRUBS	
40	RUNYAN YEW - Taxus media 'Runyan'	36" spd. B/B
21	RUBY SLIPPERS HYDRANGEA - Hydrangea quenfolia 'Ruby Slippers'	# 3 cont.
9	KNOCKOUT ROSE - Rosa x 'Radrazz'	# 5 cont.
13	GOLDFLAME SPIREA - Spirea x bumalda 'Goldflame'	# 3 cont.

GRAPHIC SCALE
20 0 10 20
1 inch = 20 ft.

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Issued
12/10/2018

SITE LANDSCAPE PLAN

Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

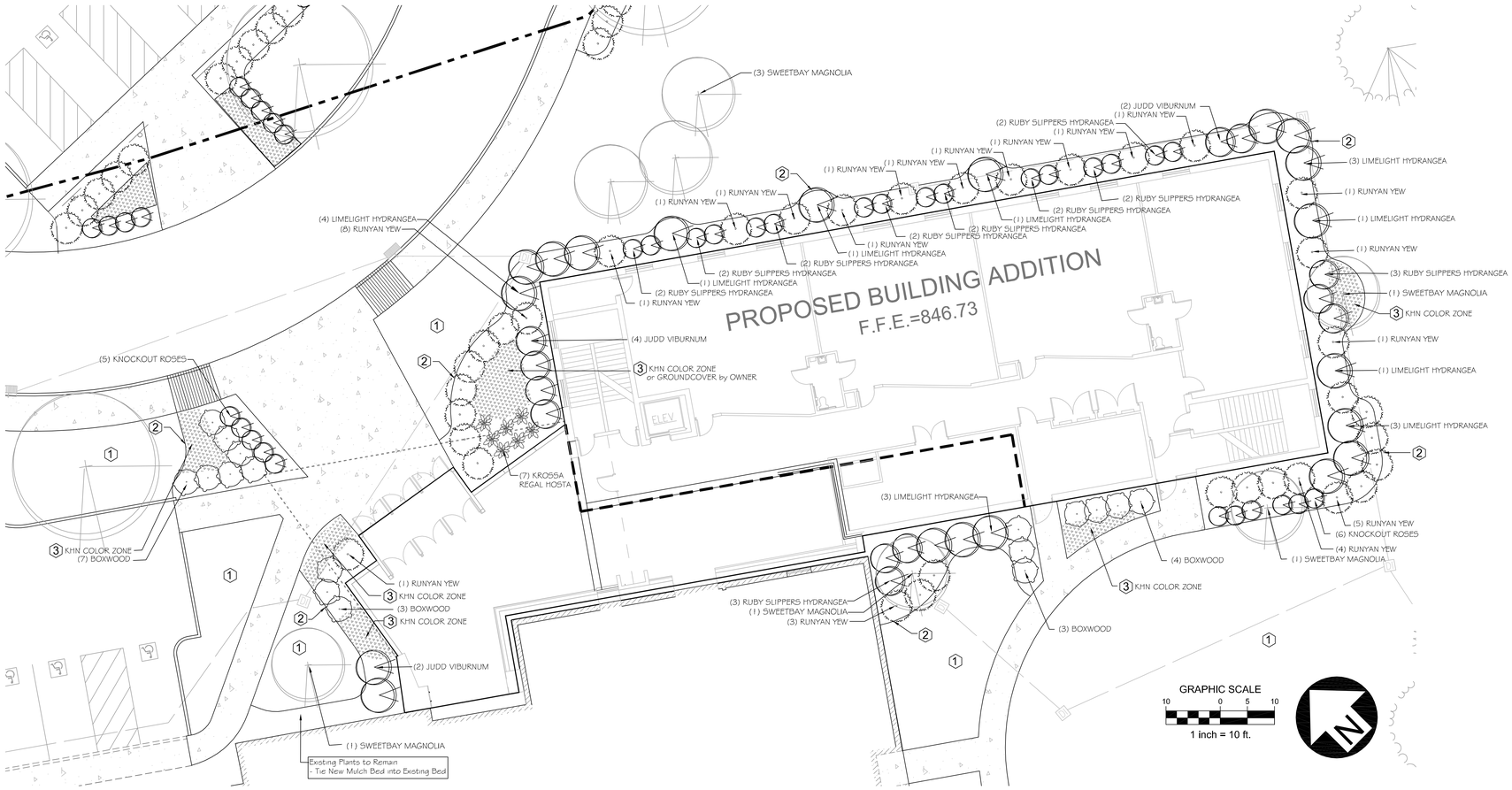
Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
L-1.0

STATE OF OHIO
ROGER E. BEAL
443
REGISTERED LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
PO Box 472
YELLOW SPRINGS, OHIO 45387
VOICE: 937.767.8199
yellowspringsdesign@bizwoh.rr.com



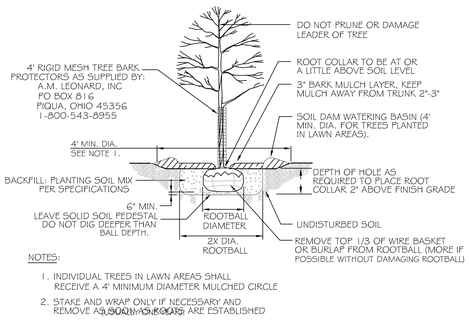
PLANT MATERIALS LIST: - THIS SHEET ONLY

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
	ORNAMENTAL TREES	
7	SWEETBAY MAGNOLIA - Magnolia virginiana	8' ht. B/B
	SHRUBS	
17	BOXWOOD - Buxus x 'Green Velvet'	24" B/B
19	RUBY SLIPPERS HYDRANGEA - Hydrangea quer. 'Ruby Slippers'	# 3 cont.
18	LIMELIGHT HYDRANGEA - Hydrangea paniculata 'Limelight'	42"-48" B/B
11	KNOCKOUT ROSE - Rosa x 'Radrazz'	# 5 cont.
34	RUNYAN YEW - Taxus media 'Runyan'	36" spd. B/B
11	JUDD VIBURNUM - Viburnum juddii	36" ht. B/B
	PERENNIALS	
7	KROSSA REGAL HOSTA - Hosta x 'Krossa Regal'	#2 cont.

DRAWING KEY NOTES:

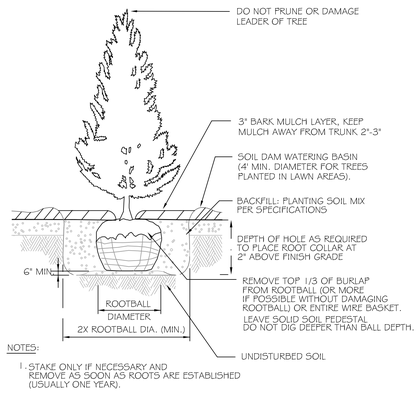
1 SOD
2 DENOTES SPADE-CUT BED EDGE
3 THOSE BED AREAS DESIGNATED AS A COLOR ZONE SHALL BE PREPARED WITH A DEPTH OF 12" PROCESSED TOPSOIL AND SHALL HAVE SEPARATE IRRIGATION ZONES WITH 12' POP-UP SPRINKLER HEADS. PLANTS TO BE FURNISHED AND INSTALLED BY THE OWNER.

PLANT INSTALLATION DETAILS



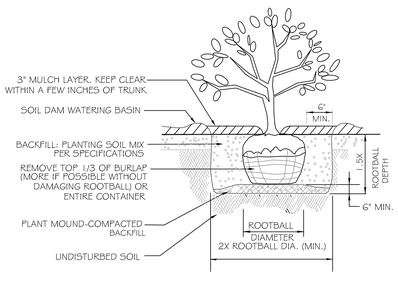
NOTES:
1. INDIVIDUAL TREES IN LAWN AREAS SHALL RECEIVE A 4' MINIMUM DIAMETER MULCHED CIRCLE
2. STAKE AND WRAP ONLY IF NECESSARY AND REMOVE AS SOON AS ROOTS ARE ESTABLISHED (USUALLY ONE YEAR).

SHADE TREE PLANTING DETAIL
NTS



NOTES:
1. STAKE ONLY IF NECESSARY AND REMOVE AS SOON AS ROOTS ARE ESTABLISHED (USUALLY ONE YEAR).

EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL
NTS

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Issued
12/10/2018

BUILDING LANDSCAPE PLAN

Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

BURKHARDT
Project No: 18.230

Sheet No.
L-1.1

STATE OF OHIO
ROGER E. BEAL
443
REGISTERED LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT:
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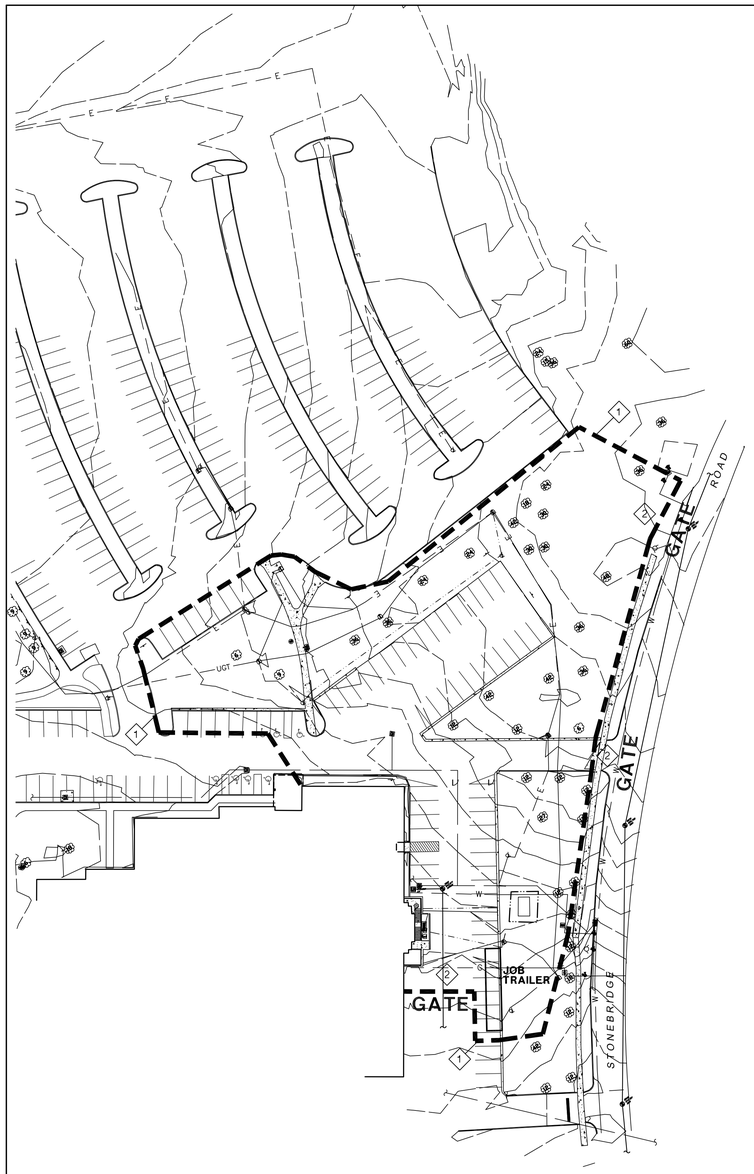
VOICE: 937.767.8199
yellowspringsdesign@bizwoh.rr.com



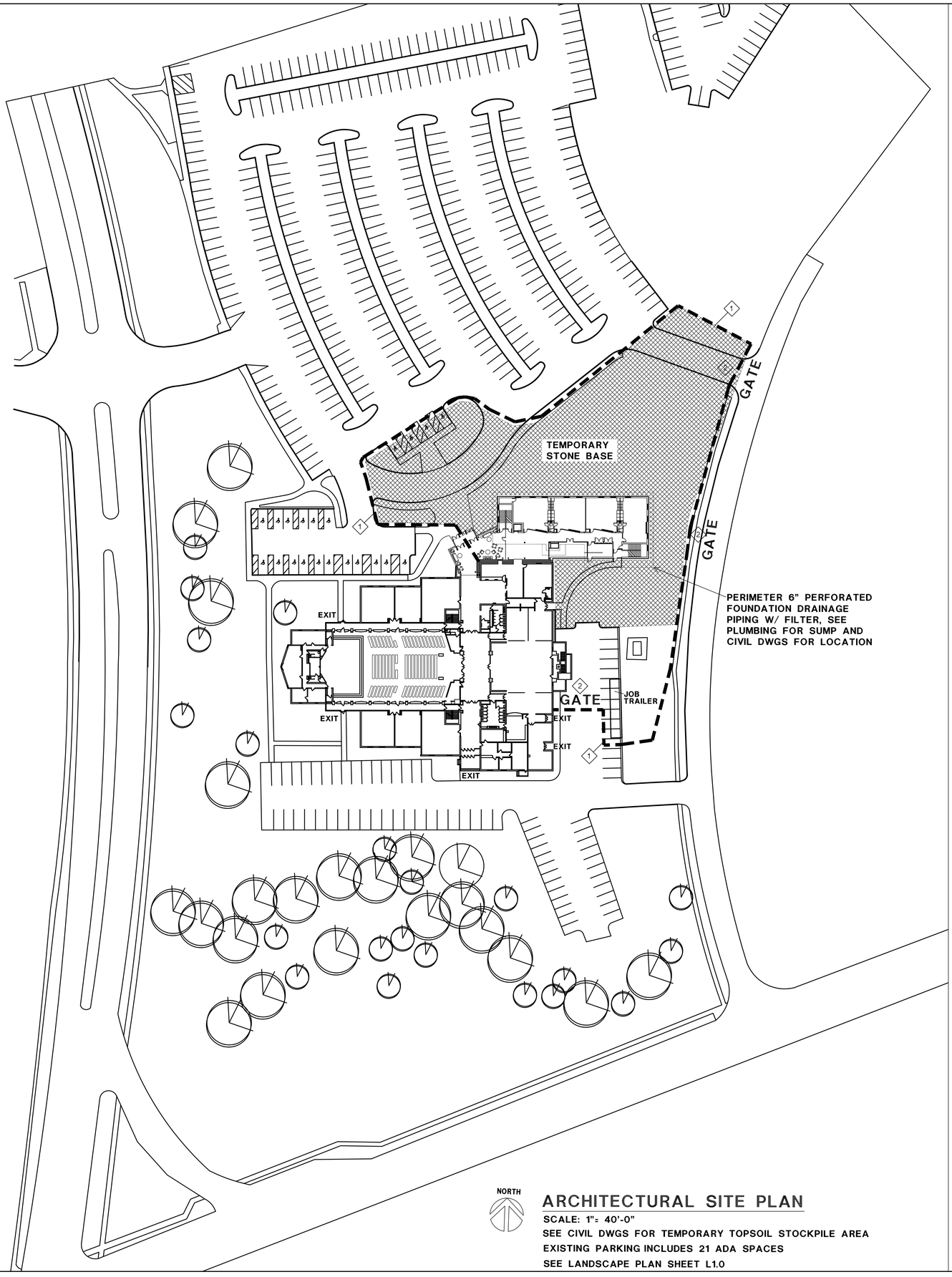
NORTH

PARTIAL EXISTING SITE PLAN

SCALE: 1"= 40'-0"

GENERAL NOTES

- SOIL BORING LOCATION
- (1) CONSTRUCTION LIMITS. CONTRACTOR SHALL ESTABLISH FENCE LOCATION & INSTALL TEMPORARY CHAIN LINK CONSTRUCTION FENCE WITH ACCESS GATES. REMOVE & REINSTALL FENCE AS REQUIRED FOR UTILITY & GRADING WORK. REMOVE AT PROJECT COMPLETION.
- (2) PROVIDE 10 FT WIDE ACCESS GATES W/ LOCKS.



NORTH

ARCHITECTURAL SITE PLAN

SCALE: 1"= 40'-0"

SEE CIVIL DWGS FOR TEMPORARY TOPSOIL STOCKPILE AREA

EXISTING PARKING INCLUDES 21 ADA SPACES

SEE LANDSCAPE PLAN SHEET L1.0

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RUETSCHLE

STATE OF OHIO REGISTERED ARCHITECT
MARK L. RUETSCHLE 9837
MARK L. RUETSCHLE LICENSE # 9837
EXPIRATION DATE: 12/31/2019

Issued
December 10, 2018

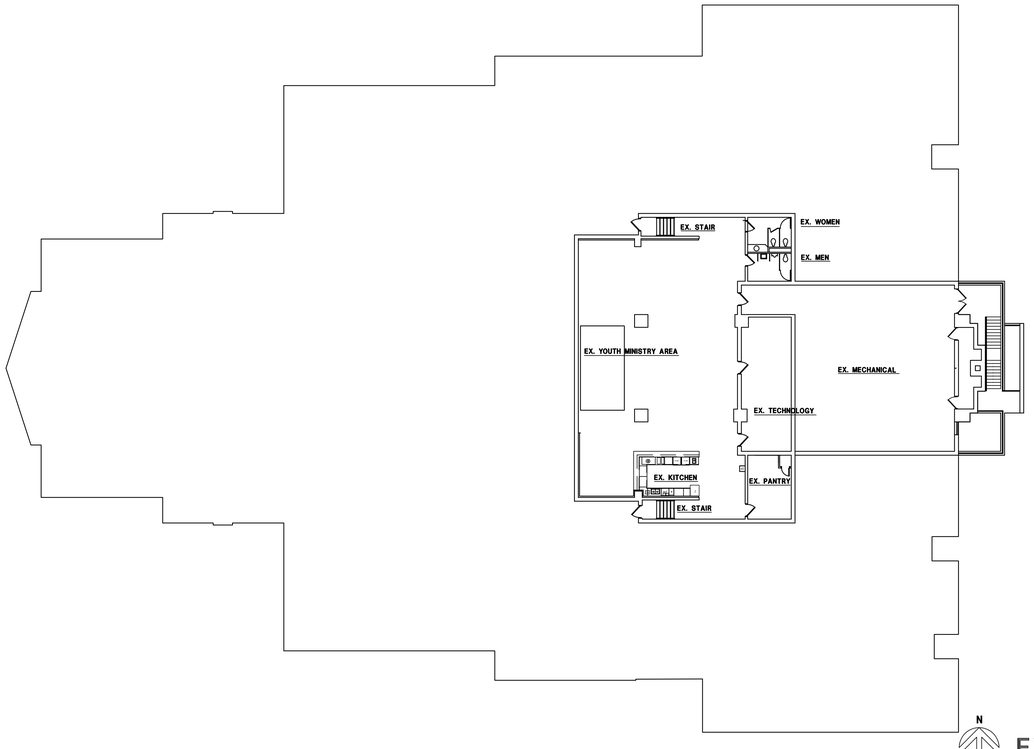
Revisions:
1 Resubmittal
January 22, 2019
CONSTRUCTION DOCUMENTS FOR PERMITS

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

Architectural Site Plan

Sheet No.
SP.1



EXISTING LOWER LEVEL FLOOR PLAN

SCALE 1/16"= 1'-0"

222 LINWOOD STREET
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STATE OF OHIO
REGISTERED ARCHITECT
MARK L. RUETSCHLE
9837
SIGNATURE
EXPIRATION DATE: 12/31/2019

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Issued
May 20, 2019

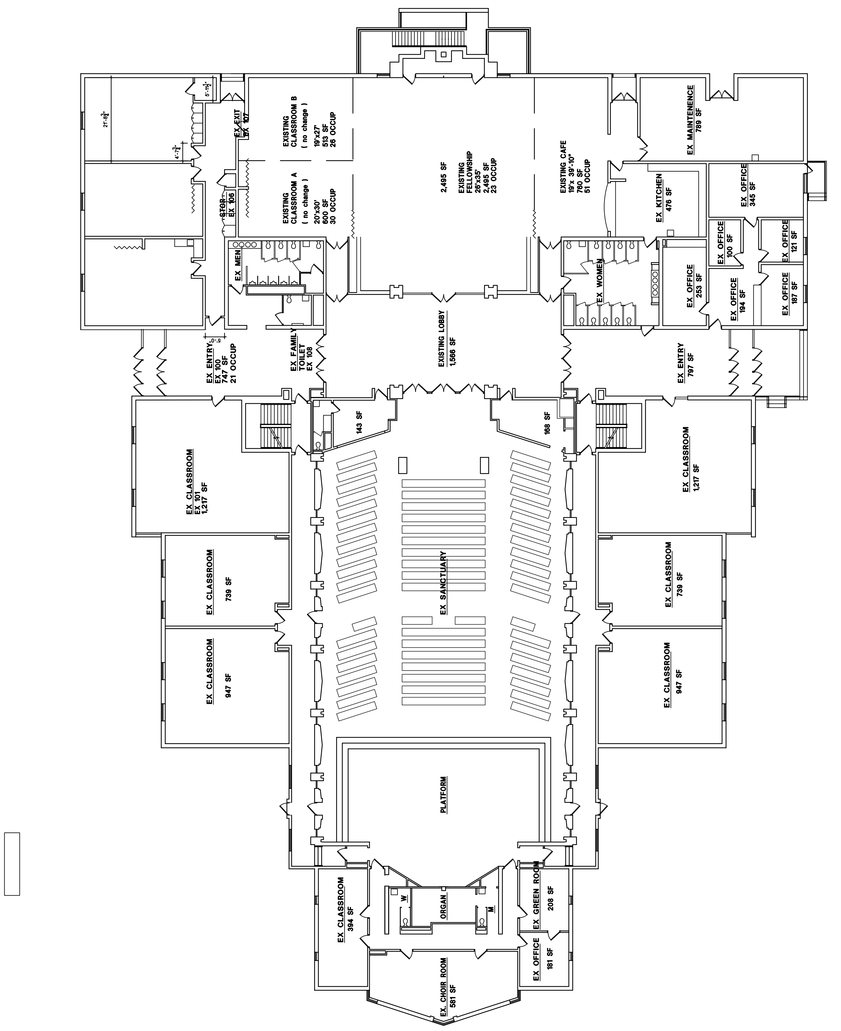
Bid Package 3A
Masonry & Grade Beam Package

Revisions:

Comm No.
61716

Existing
Lower Level Floor Plan

Sheet No.
EX 0.1



N

EXISTING FIRST FLOOR PLAN

SCALE 1/16" = 1'-0"

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Issued	May 20, 2019
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Revisions:	
Comm No.	61716
Existing First Floor Plan	
Sheet No.	EX 1.0

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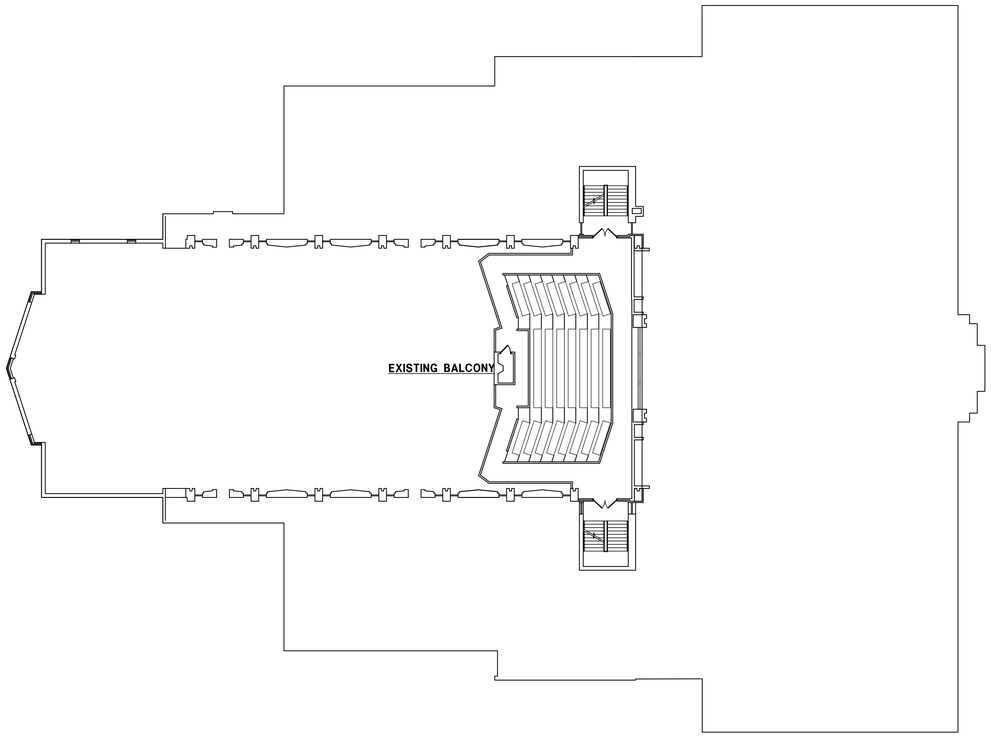
MARK L. RUETSCHLE
9837
MARK L RUETSCHLE LICENSE # 9837
EXPIRATION DATE: 12/31/2019



N

EXISTING SECOND FLOOR PLAN

SCALE 1/16"= 1'-0"

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STATE OF OHIO
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MARK RIETSCHLE ARCHITECT # 9837
EXPIRATION DATE: 12/31/2019

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Masonry & Grade Beam Package

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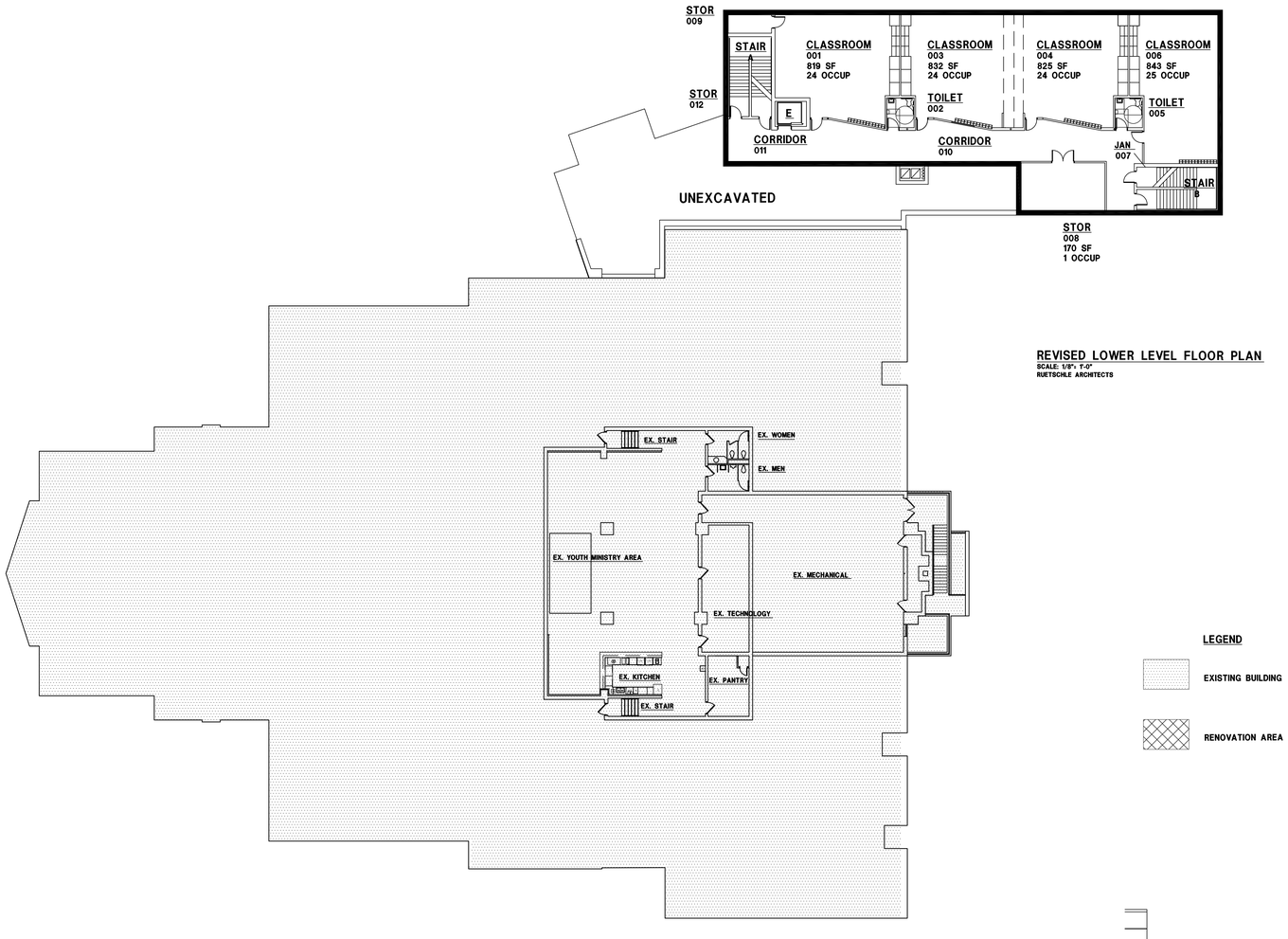
NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

Existing
Second Floor Plan

Sheet No.
EX 2.0



REVISED LOWER LEVEL FLOOR PLAN

SCALE: 1/8": 1'-0"
RUETSCHLE ARCHITECTS

N

LOWER LEVEL LIFE SAFETY PLAN

SCALE 1/16": 1'-0"

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REGISTERED ARCHITECT
MARK L. RIETSCHLE
9837
MARK RIETSCHLE, JR. STEVE P. WOLF
EXPIRATION DATE: 12/31/2019

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May 20, 2019

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Masonry & Grade Beam Package

Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

Life Safety
Lower Level

Sheet No.
LS 0.1

CODE INFORMATION
APPLICABLE CODE: 2017 OBC

EXISTING BUILDING CODE INFORMATION

EX. BUILDING OCCUPANCY: A-3
EX. CONSTRUCTION TYPE: II B
EX. FIRST FLOOR AREA: 33,693 sf Net
EX. BALCONY AREA: 2,852 sf Net
EX. LOWER LEVEL AREA: 6,093 sf Net
EX. BUILDING IS NOT SPRINKLERED
EX. FIRE ALARM IS A VOICE EVACUATION ALARM SYSTEM

EXISTING BUILDING OCCUPANT LOAD

1,414 TOTAL OCCUP FIRST FLOOR, INCLUDES:
- SANCTUARY: 604
- CHOIR ROWS: 40
- PLATFORM: 4
- LOBBY: 143
- MULTI PURPOSE: 206
- CLASSROOMS: 345
- OFFICE AREA: 18
- KITCHEN: 3
- CUSTODIAN / MAINTENENCE: 3
- CHOIR PRACTICE: 38
- WEST STOR: 2
- NURSING: 4
- USHERS: 4

194 TOTAL OCCUP: BALCONY
120 TOTAL OCCUP: LOWER LEVEL
1,728 TOTAL OCCUP EXISTING BUILDING

NEW BUILDING CODE INFORMATION

BUILDING OCCUPANCY: A-3
CONSTRUCTION TYPE: II B
FIRST FLOOR AREA: 8,605 sf Net
SECOND FLOOR AREA: 6,021 sf Net
LOWER LEVEL AREA: 6,163 sf Net
BUILDING IS FULLY SPRINKLERED
THE FIRE ALARM WILL CONNECT TO THE EXISTING VOICE EVACUATION FIRE ALARM SYSTEM
THE PROPOSED ADDITION INCLUDES A 3,500 LB CAPACITY ELEVATOR

THE PROPOSED ADDITION IS SEPARATED FROM THE EXISTING SANCTUARY BUILDING WITH A 2 HOUR U.L. RATED FIRE WALL, A 1.5 HOUR U.L. RATED WON DOOR, A 1.5 HOUR FIRE RATED COILING DOOR & A 1.5 HOUR PROTECTED OPENING.

NEW FIRE WALL LENGTH: 105'-1" LN. FT. PER OBC 705.8, THE AGGREGATE WIDTH OF PROTECTED OPENINGS DOES NOT EXCEED 25% OF THE LENGTH OF THE WALL. THE AREA OF EACH OPENING DOES NOT EXCEED 156 SF.

NEW STAIRWAYS A and B ARE EXIT ACCESS STAIRWAYS PER 1019.3.1.

OCCUPANT LOAD NEW BUILDING

CLASSROOM OCCUPANT LOADS ARE BASED ON NURSERY / DAYCARE 35 SF PER OCCUPANT.
198 TOTAL OCCUP FIRST FLOOR
- CLASSROOMS AND MECH / STOR ROOMS: 100 OCCUP
- LOBBY 101: 38 OCCUP
- THEME: 31 OCCUP
- LIBRARY 115: 4 OCCUP
- CANOPY: 23 OCCUP

99 TOTAL OCCUP: LOWER LEVEL
- CLASSROOMS AND MECH / STOR ROOMS: 99 OCCUP

99 TOTAL OCCUP: SECOND FLOOR, (FUTURE)
- CLASSROOMS AND MECH / STOR ROOMS: 99 OCCUP

394 TOTAL OCCUPANTS NEW BUILDING
- LOBBY 101
- 114 SF
- 140 SF
- 313 SF
- 567 SF LOBBY / 15: 38 OCCUP
- 343 SF THEME
- 112 SF THEME
- 455 SF THEME / 15: 31 OCCUP
- CANOPY: 23 OCCUP

OBC 10 MEANS OF EGRESS

OBC 1004 OCCUPANT LOAD

EXISTING BUILDING MEANS OF EGRESS
- THERE ARE TWO MAIN SYMMETRICAL ENTRIES
- THERE ARE EIGHT TOTAL ENTRIES
- OBC 1029.2: 50 % OCCUPANT LOAD AT MAIN ENTRY
- 1,728/2: 864 OCCUP x .2: 172.8"
- 172.8" EGRESS WIDTH REQUIRED AT EXIST. NORTH ENTRY
- 172.8" EGRESS WIDTH PROVIDED AT NEW WON-DOOR

NEW ADDITION MEANS OF EGRESS
- THERE IS ONE MAIN ENTRY
- THERE ARE TWO TOTAL ENTRIES
- 394 TOTAL OCCUPANTS IN NEW BUILDING
- 394/2: 197 OCCUP x .2: 39.4"
- 39.4" EGRESS WIDTH REQUIRED AT NEW MAIN ENTRY
- EXISTING & NEW OCCUP, MAIN EXIT: 172.8" + 39.4": 212.2" TOTAL
- 212.2" TOTAL EGRESS WIDTH REQUIRED AT MAIN ENTRY
- 228" TOTAL EGRESS WIDTH PROVIDED AT MAIN ENTRY

OBC 29 PLUMBING
EXISTING PLUMBING

- 1,728 TOTAL OCCUP EXISTING BUILDING
- 1,728 /2: 864
- 864 / 75: 11.52 OR 12 WC WOMEN ARE REQUIRED
- 14 EXIST WC ARE PROVIDED FOR WOMEN
- 864 / 150: 5.76 OR 6 WC MEN ARE REQUIRED
- 6 EXIST WC & 6 URINALS ARE PROVIDED FOR MEN

THE FOLLOWING MEET AND EXCEED CODE REQUIREMENTS
- 2 ADDITONAL EXIST. WOMEN'S WC FIXTURES ARE PROVIDED
- 6 ADDITONAL MEN'S WC FIXTURES ARE PROVIDED
- 1 ADDITONAL EXIST. FAMILY TOILET ROOM IS PROVIDED

PARKING TABULATION

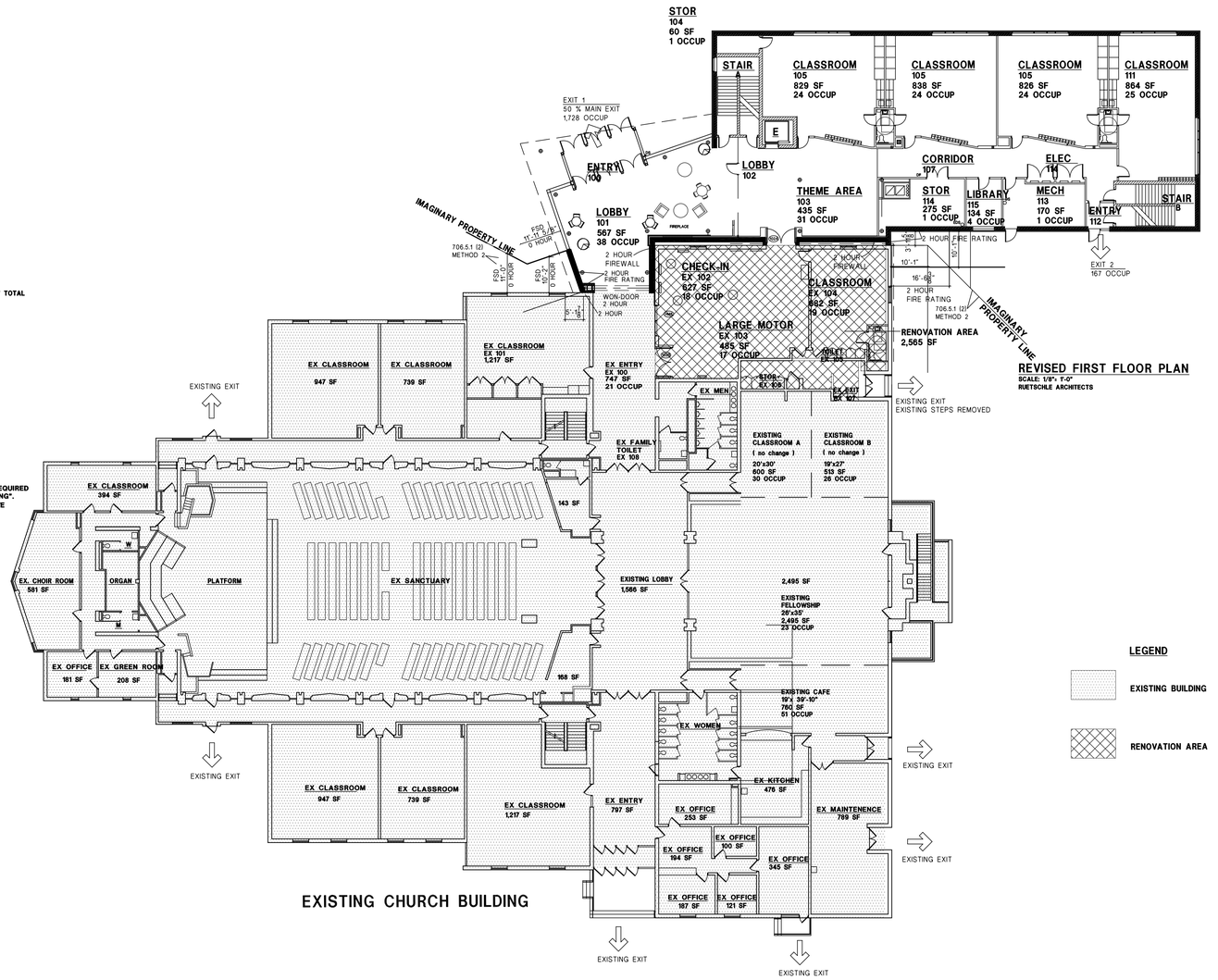
ADA PARKING SPACES PROVIDED: 21

OBC 29 PLUMBING
NEW PLUMBING

NEW BUILDING OCCUPANT LOAD: 397
- 397 /2: 198.5
- 198.5 /75: 2.64 OR 3 WC WOMEN ARE REQUIRED
- 4 WC WOMEN ARE PROVIDED
- 198.5 /50: 3.97 OR 4 LAV WOMEN ARE REQUIRED

- 198.5 /150: 1.3 OR 2 WC MEN ARE REQUIRED
- 4 WC MEN ARE PROVIDED
- 198.5 /50: 3.97 OR 4 LAV MEN ARE REQUIRED

IBC COMMENTARY 2902.1 STATES:
"SOME SCHOOL FACILITIES ARE DESIGNED TO HAVE A SINGLE OCCUPANCY TOILET ROOM THAT CAN BE ACCESSED ONLY FROM WITHIN THE CLASSROOM. THE CODE IS SILENT ON WHETHER THE FIXTURES IN THIS LIMITED-ACCESS TOILET ROOM CAN BE COUNTED TOWARD THE REQUIRED NUMBER OF PLUMBING FIXTURES FOR THE BUILDING". THEREFORE, 4 UNISEX TOILET ROOMS WILL SERVE 8 NEW CLASSROOMS. 1 UNISEX TOILET ROOM WILL SERVE EXISTING CLASSROOM EX 104.



FIRST FLOOR LIFE SAFETY PLAN
SCALE 1/16"= 1'-0"

222 LINWOOD STREET
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RUETSCHLE

STATE OF OHIO
MARK L. BIETSCHE
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REGISTERED ARCHITECT
MARK BIETSCHE, JR. ARCHITECT #9837
EXPIRATION DATE: 12/31/2019

Issued
May 20, 2019

Bid Package 3A
Masonry & Grade Beam Package

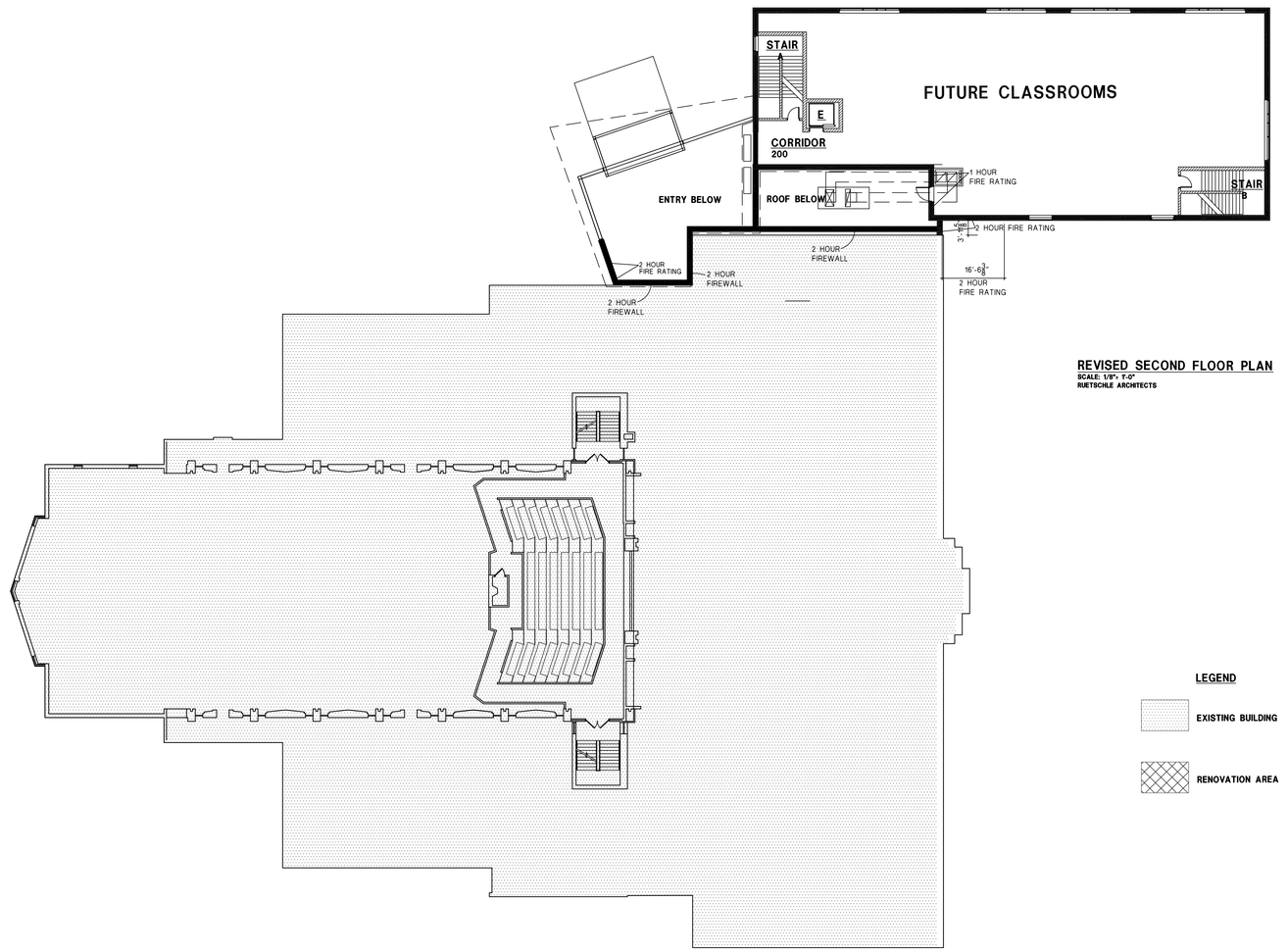
Revisions:

NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

Life Safety
First Floor Plan

Sheet No.
LS1.0



REVISED SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"
RUETSCHLE ARCHITECTS

LEGEND

EXISTING BUILDING

RENOVATION AREA

EXISTING CHURCH BUILDING

N

SECOND FLOOR LIFE SAFETY PLAN

SCALE 1/16"= 1'-0"

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STATE OF OHIO
MARK L. RIETSCHLE
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MARK RIETSCHLE - ARTHUR, P.S.C.
EXPIRATION DATE: 12/31/19

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Revisions:

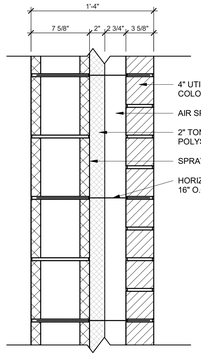
NEW ADDITION TO
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd. Kettering, Ohio

Comm No.
61716

Life Safety
Second Floor Plan

Sheet No.
LS2.0

EXTERIOR WALL TYPES



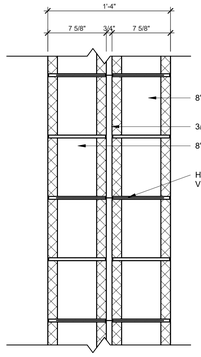
4" UTILITY BRICK VENEER, COLOR 1 OR 2
AIR SPACE
2" TONGUE & GROOVE EXTRUDED POLYSTYRENE INSULATION
SPRAY APPLIED VAPOR BARRIER
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

A1 BRICK VENEER WALL

A2 UL NUMBER: 905 — 2 HOUR RATED

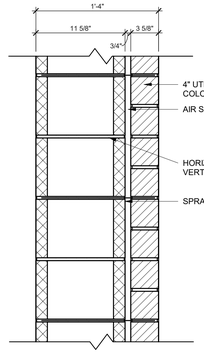
A3 1 HOUR RATED



8" CONCRETE MASONRY UNIT
3/4" CAVITY
8" CONCRETE MASONRY UNIT
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

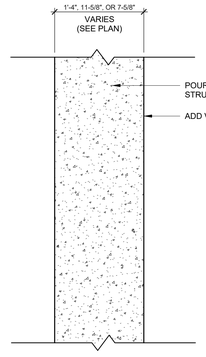
B 2-HOUR FIREWALL UL NUMBER: 905



4" UTILITY BRICK VENEER, COLOR 1 OR 2
AIR SPACE
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY
SPRAY APPLIED VAPOR BARRIER

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

C



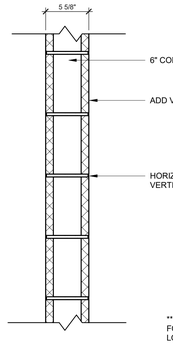
POURED CONCRETE, REFER TO STRUCUTRAL DRAWING FOR REBAR
ADD VENEER PLASTER TO WALL (AT SIM.)

**SEE STRUCTURAL DWGS FOR REBAR LOCATIONS

ADD VENEER PLASTER TO WALL
SIM.

D CONCRETE WALL

INTERIOR WALL TYPES

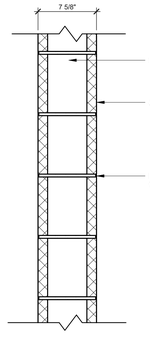


6" CONCRETE MASONRY UNIT
ADD VENEER PLASTER TO WALL (AT SIM.)
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

ADD VENEER PLASTER TO WALL
SIM.

E 2 HOUR RATED UL NUMBER: 905

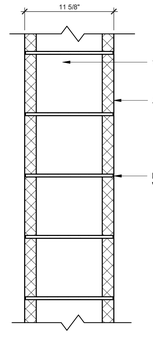


8" CONCRETE MASONRY UNIT
ADD VENEER PLASTER TO WALL (AT SIM.)
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

ADD VENEER PLASTER TO WALL
SIM. SIM.

F1 **F2** 1 HOUR RATED UL NUMBER: 905

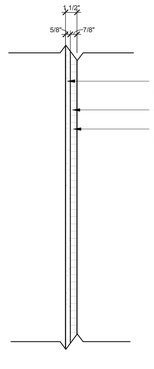


12" CONCRETE MASONRY UNIT
ADD VENEER PLASTER TO WALL (AT SIM.)
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY

**SEE STRUCTURAL DWGS FOR CORE FILL AND REBAR LOCATIONS

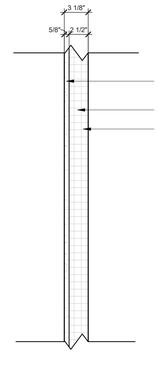
ADD VENEER PLASTER TO WALL
SIM.

G1 **G2** 1 HOUR RATED UL NUMBER: 905



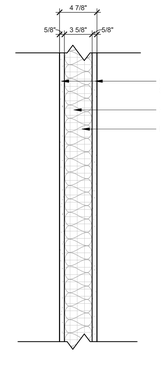
5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
7/8" METAL STUDS AT 16" O.C.
'1.5' ONLY: 7/8" POLYSTYRENE INSULATION

H



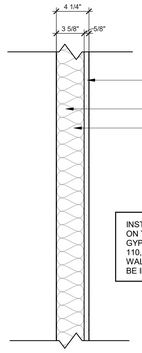
5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
2-1/2" METAL STUDS AT 16" O.C.
J2 ONLY: 2 1/2" POLYSTYRENE INSULATION

J1 (NO SOUND BATT) **J2** (SOUND BATT)



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
3-5/8" METAL STUDS AT 16" O.C.
K2 ONLY: 3 1/2" SOUND BATT

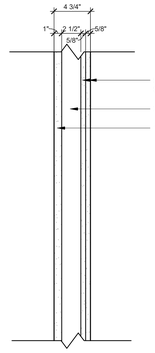
K1 (NO SOUND BATT) **K2** (SOUND BATT)



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
3-5/8" METAL STUDS AT 16" O.C.
J2 ONLY: 3 1/2" SOUND BATT

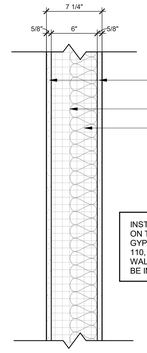
INSTALL CEMENT BOARD FULL HEIGHT ON TOILET ROOM WALLS IN LIEU OF GYPSUM BOARD IN ROOMS: 002, 005, 106, 110, EX105, AND DRINKING FOUNTAIN WALL WHERE CERAMIC WALL TILE IS TO BE INSTALLED

M1 (NO SOUND BATT) **M2** (SOUND BATT) **M3** (RATED 1 HOUR)



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
2-1/2" CT-METAL STUDS AT 24" O.C.
1" FIRE RATED GYPSUM BOARD

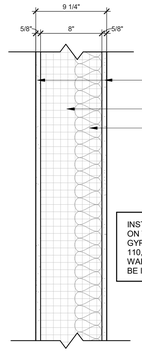
N SHAFT WALL 1 HOUR RATED



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
6" METAL STUDS AT 16" O.C.
P2 ONLY: 3 1/2" SOUND BATT

INSTALL CEMENT BOARD FULL HEIGHT ON TOILET ROOM WALLS IN LIEU OF GYPSUM BOARD IN ROOMS: 002, 005, 106, 110, EX105, AND DRINKING FOUNTAIN WALL WHERE CERAMIC WALL TILE IS TO BE INSTALLED

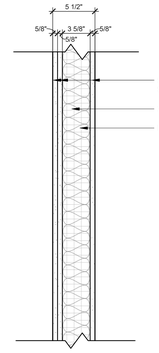
P1 (NO SOUND BATT) **P2** (SOUND BATT) **P3** (RATED 1 HOUR)



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
8" METAL STUDS AT 16" O.C.
Q2 ONLY: 3 1/2" SOUND BATT

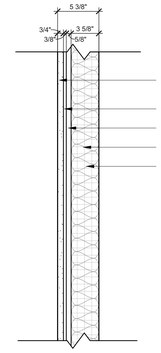
INSTALL CEMENT BOARD FULL HEIGHT ON TOILET ROOM WALLS IN LIEU OF GYPSUM BOARD IN ROOMS: 002, 005, 106, 110, EX105, AND DRINKING FOUNTAIN WALL WHERE CERAMIC WALL TILE IS TO BE INSTALLED

Q1 (NO SOUND BATT) **Q2** (SOUND BATT)



5/8" GYPSUM BOARD, REFER TO SPEC. FOR TYPE
3-5/8" METAL STUDS AT 16" O.C.
R2 ONLY: 3 1/2" SOUND BATT

R1 (NO SOUND BATT) **R2** (SOUND BATT)



THIN STONE
3/8" MUD
5/8" CEMENT BOARD
3-5/8" METAL STUDS AT 16" O.C.
3 1/2" RIDGED INSULATION

S

NOTE: ABUSE RESISTANT GYPSUM BOARD USED BELOW 8'-0" AFF UNLESS NOTED OTHERWISE

GENERAL NOTES

A. ALL DIMENSIONS ARE TO FACE OF CMU WALL AND TO THE FACE OF GYPSUM BOARD WALLS UNLESS NOTED OTHERWISE.

B. ALL METAL STUD AND GYMSUM BOARD WALLS SHALL BE CONSTRUCTED TO THE METAL DECK ABOVE UNLESS NOTED OTHERWISE. PROVIDE AND INSTALL DEFLECTION TRACK AS REQUIRED AND SPECIFIED. PROVIDE AND INSTALL BRACING AND BLOCKING AS REQUIRED FOR SECURE ATTACHMENT TO STRUCTURE.

C. ALL GYPSUM BOARD SOFFITS AT CEILINGS WHERE THE BOTTOM OF THE SOFFIT IS ABOVE 8'-0" AFF SHALL BE CONSTRUCTED OF METAL STUDS AT 16"O.C. WITH 5/8" GYPSUM BOARD, PRIMED AND PAINTED. ALL GYPSUM BOARD SOFFITS OR BULKHEADS WHERE THE BOTTOM IS BELOW 8'-0" AFF SHALL BE CONSTRUCTED OF METAL STUDS WITH 5/8" ABUSE RESISTANT GYPSUM BOARD.

D. ALL GYPSUM BOARD PARITIONS SHALL BE CONSTRUCTED WITH 5/8" ABUSE RESISTANT GYPSUM BOARD (BELOW 8'-0") OR FIRE RATED GYPSUM BOARD AS NOTED. ALL STUD CAVITIES SHALL BE FILLED WITH ACOUSTICAL BATT INSULATION. THE ACOUSTICAL BATT INSULATION SHALL BE INSTALLED TO THE DECK UNLESS NOTED OTHERWISE.

E. PROVIDE BLOCKING IN WALLS AND PARTIONS AS REQUIRED FOR SECURE ATTACHMENT OF EQUIPMENT AND ACCESSORIES. COORDINATE LOCATION AND TYPE WITH THE APPROPRIATE TRADE AND/OR MANUFACTURER.

F. REFER TO PLUMBING, MECHANICAL, ELECTRICAL, AND TECHNOLOGY (MEPT) DRAWINGS FOR INFORMATION PERTAINING TO THAT SPECIFIC TRADE. VERIFY AND COORDINATE PLACEMENT OF ALL RESPECTIVE MEPT EQUIPMENT AND FIXTURES WITH ITEMS INDICATED ON THE ARCHITECTURAL DRAWINGS INCLUDING BUT NOT LIMITED TO: CASEWORK, TACK BOARDS, MARKER BOARDS, AND LOOSE FURNISHINGS. REPORT DISCREPANCIES TO THE CONSTRUCTION MANAGER AND ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

G. DISSIMILAR FLOORING MATERIALS SHALL MEET DIRECTLY BENEATH DOOR LEAVES OR AT THE CENTER OF OPENINGS WITHOUT DOORS UNLESS NOTED OTHERWISE.

H. TRANSITIONS BETWEEEN FLOORING MATERIALS OF DIFFERING THICKNESSES SHALL BE SMOOTH AT CLASSROOM DOORS AND WITHIN CORRIDORS. NO TRANSITION STRIPS AT THESE LOCATIONS. THE FLOOR SLAB SHALL BE BUILT-UP WITH A LEVELING COMPOUND APPROVED BY THE FLOORING MANUFACTURER IN ORDER TO MATCH TOP OF FLOORING MATERIAL ELEVATIONS.

J. REFER TO LIFE SAFETY NOTES AND TO LIFE SAFETY DIAGRAMS FOR RATED CONSTRUCTION AND FOR ROOMS REQUIRED TO HAVE SMOKE PARTITIONS.

K. NO PENETRATIONS THROUGH STRUCTURAL LINTELS SHALL BE MADE WITHOUT THE SPECIFIC AUTHORIZATION FROM THE ARCHITECT. ANY PENETRATION MADE THROUGH A STRUCTURAL LINTEL WITHOUT AUTHORIZATION SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR. REPLACEMENT OF THE LINTEL MAY BE REQUIRED BASED ON THE SEVERITY OF THE DAMAGE. THIS SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

L. THE CONTRACTOR SHALL BE AWARE THAT THERMAL IMAGING OF THE BUILDING ENVELOPE SHALL BE PERFORMED BY THE OWNER WHEN THE CONSTRUCTION HAS REACHED A POINT WHERE THIS TEST IS PRACTICAL. THIS TEST SHALL INCLUDE EXTERIOR WALLS, WINDOWS, OPENINGS, ROOFS, AND ANY OTHER COMPONENT OF THE EXTERIOR ENVELOPE. THE CONTRACTOR SHALL RESPOND TO THE REPORT GENERATED BY THE THERMAL IMAGING SCAN IN WRITING AND SHALL TAKE CORRECTIVE ACTION AS DEEMED NECESSARY BY THE OWNER, CONSTRUCTION MANAGER, AND ARCHITECT.

M. REFER TO DETAIL PLANS FOR DIMENSIONS, ACCESSORIES, CROSS REFERENCES, AND OTHER ADDITIONAL INFORMATION THAT DOES NOT APPEAR ON THE 1/8" SCALE PLANS.

N. SEPARATE ALL DISSIMILAR METALS AS REQUIRED TO PREVENT GALVANIC ACTION AS RECOMMENDED BY THE RESPECTIVE PRODUCT MANUFACTURER/ SUPPLIER.

P. SEE DRAWINGS FOR SHAFT WALL LOCATIONS AND SHAFT LINER LOCATIONS.

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Revisions:

NEW ADDITION TO:
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd., Kettering, Ohio

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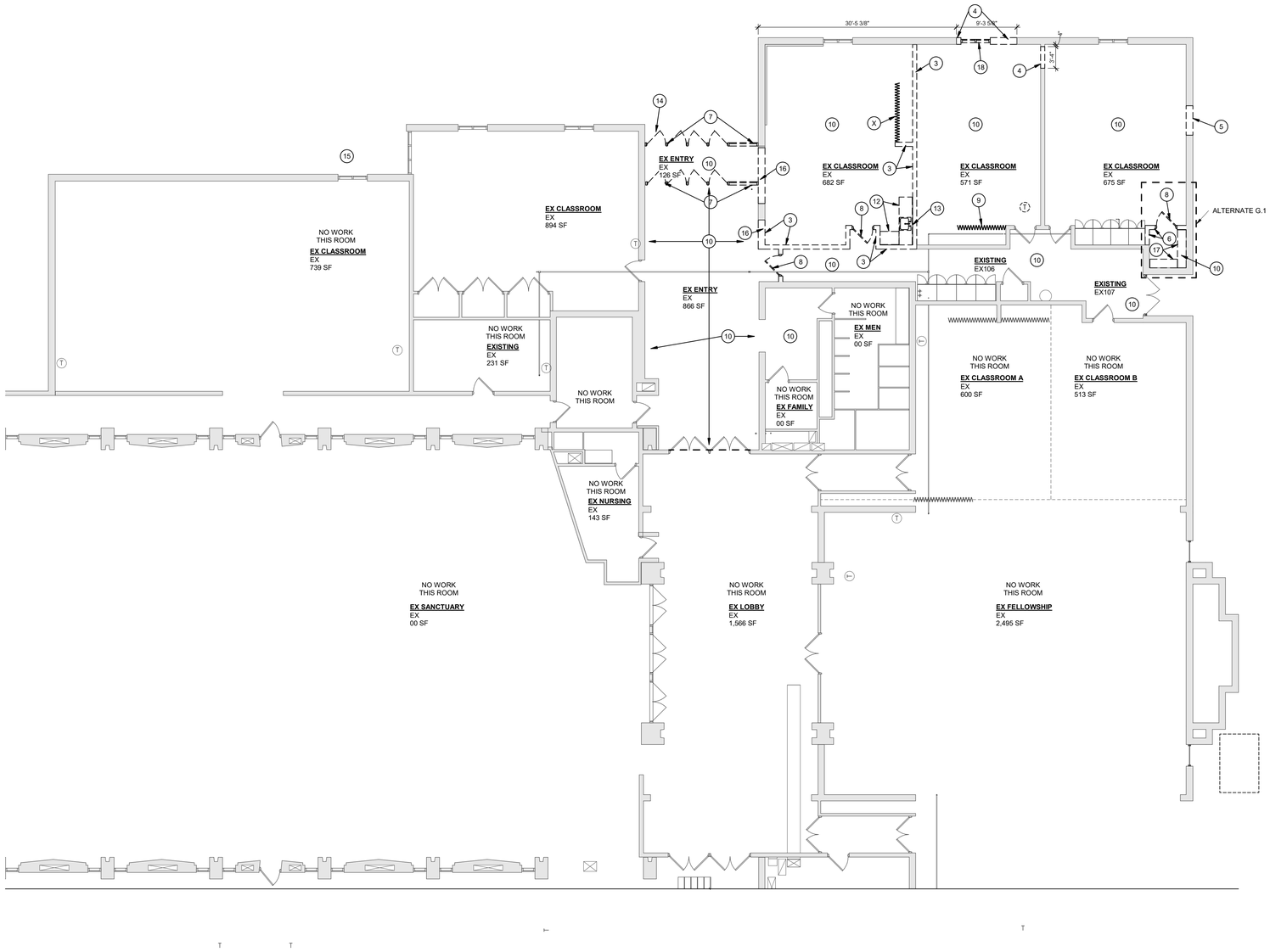
61716

WALL TYPES

Sheet No.
A 0.0



GENERAL NOTES

A. PROPOSED FIRST FLOOR PLAN ON SHEET A1.1

NOTES LEGEND

XX = XXXXXXX XXXXX XX XXX

ROOM NAME
000
150 SF

101 — DOOR NUMBER, REFER TO SHEET A6.2

DW01 — WINDOW TAG, REFER TO SHEET A6.1

REMOVE EXISTING WALL

EXISTING WALL

(X) DEMOLITION NOTES

1. -
2. -
3. REMOVE EXISTING CMU WALL.
4. REMOVE PORTION OF WALL FOR DOOR INSTALLATION. PROVIDE TEMPORARY SUPPORTS AS REQUIRED.
5. REMOVE PORTION OF WALL FOR WINDOW INSTALLATION. SHORE AND SUPPORT WALL AS REQUIRED.
6. REMOVE EXISTING PARTITION.
7. REMOVE EXISTING STOREFRONT WALL AND DOORS IN THEIR ENTIRETY.
8. REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
9. REMOVE EXISTING ACCORDIAN DOOR AND FRAME.
10. REMOVE FLOOR FINISH AND BASE.
11. REMOVE EXISTING WINDOW.
12. REMOVE COUNTER AND BASE CABINETS.
13. REMOVE EXISTING FIXTURE, SEE PLUMBING SHEETS.
14. REMOVE EXISTING KNOCK BOX. SAVE FOR RE-USE.
15. REMOVE EXISTING TEMP. ENTRY DOOR FROM WINDOW AND FRAME FOR STORAGE. REINSTALL AFTER ADDITION IS FINISHED.
16. REMOVE EXISTING CMU AND BRICK WALL FOR WINDOW OR DOOR INSTALLATION. SUPPORT EXISTING WALL AS REQUIRED.
17. REMOVE EXISTING SHELVING AND BRACKETS.
18. REMOVE WINDOW AND FRAME.

1 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

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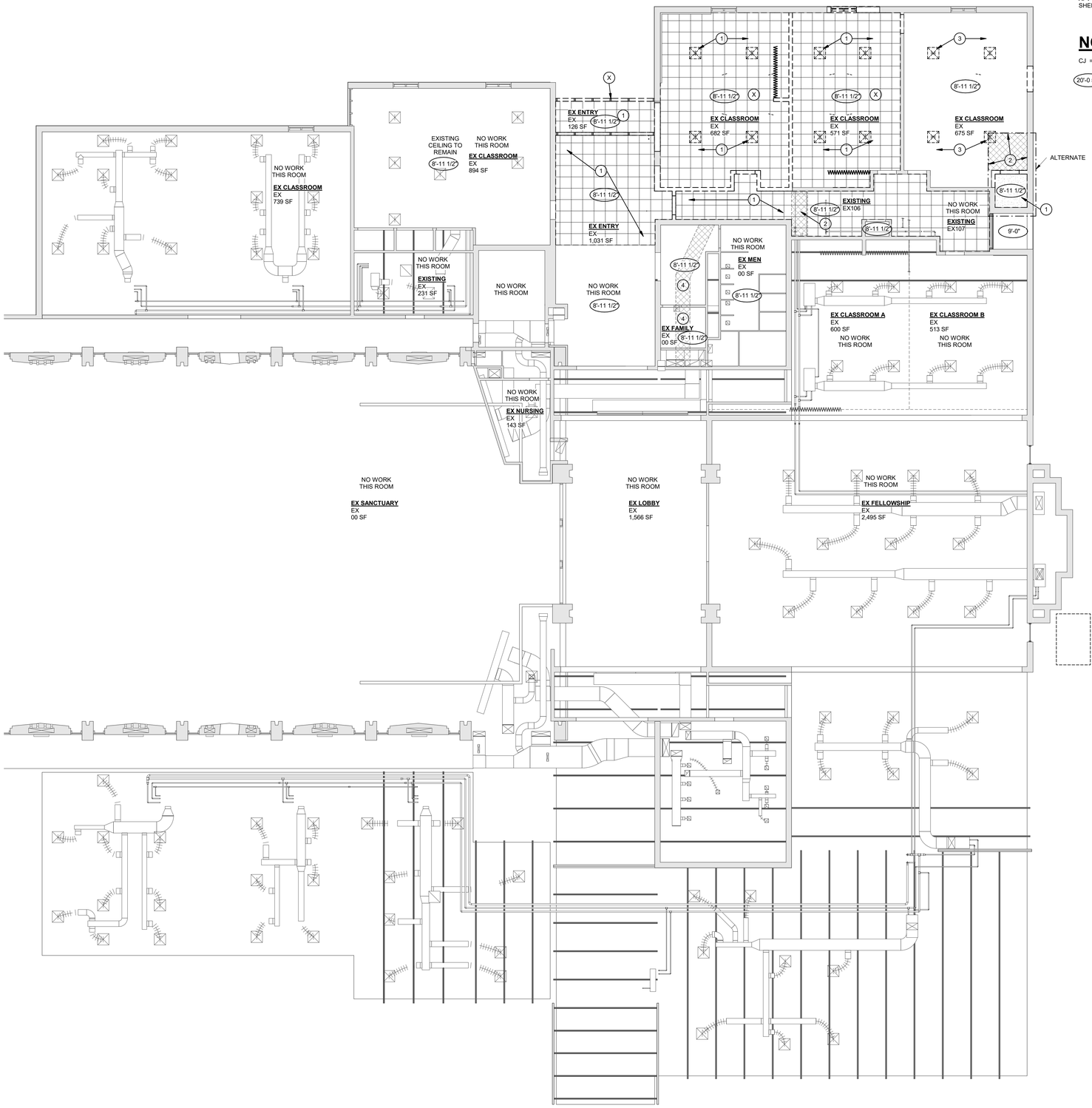
FLOOR DEMOLITION PLAN

Sheet No.
A 0.1



GENERAL NOTES

A. PURPOSED REFLECTED CEILING PLAN ON SHEET A7.1.

NOTES LEGEND

CJ = CONTROL JOINT IN GYPSUM

20'-0 5/8" CEILING HEIGHT TAG

(X) DEMOLITION CEILING NOTES

1. REMOVE EXISTING CEILING PADS, GRID, LIGHT FIXTURES, AND ANY OTHER DEVICES.
2. REMOVE EXISTING CEILING PADS, GRID, LIGHT FIXTURES, AND ANY OTHER DEVICES. REINSTALL EXISTING CEILING GRID TO WORK WITH NEW CEILING PADS, LIGHT FIXTURES, AND OTHER DEVICES.
3. REMOVE EXISTING CEILING PADS, GRID, LIGHT FIXTURES, AND ANY OTHER DEVICES. REINSTALL EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND OTHER DEVICES.
4. FOLLOW MECHANICAL NEW WORK FOR REMOVAL OF EXISTING CEILING PADS, GRID, LIGHT FIXTURES, AND ANY OTHER DEVICES. REINSTALL EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND OTHER DEVICES.

1 DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

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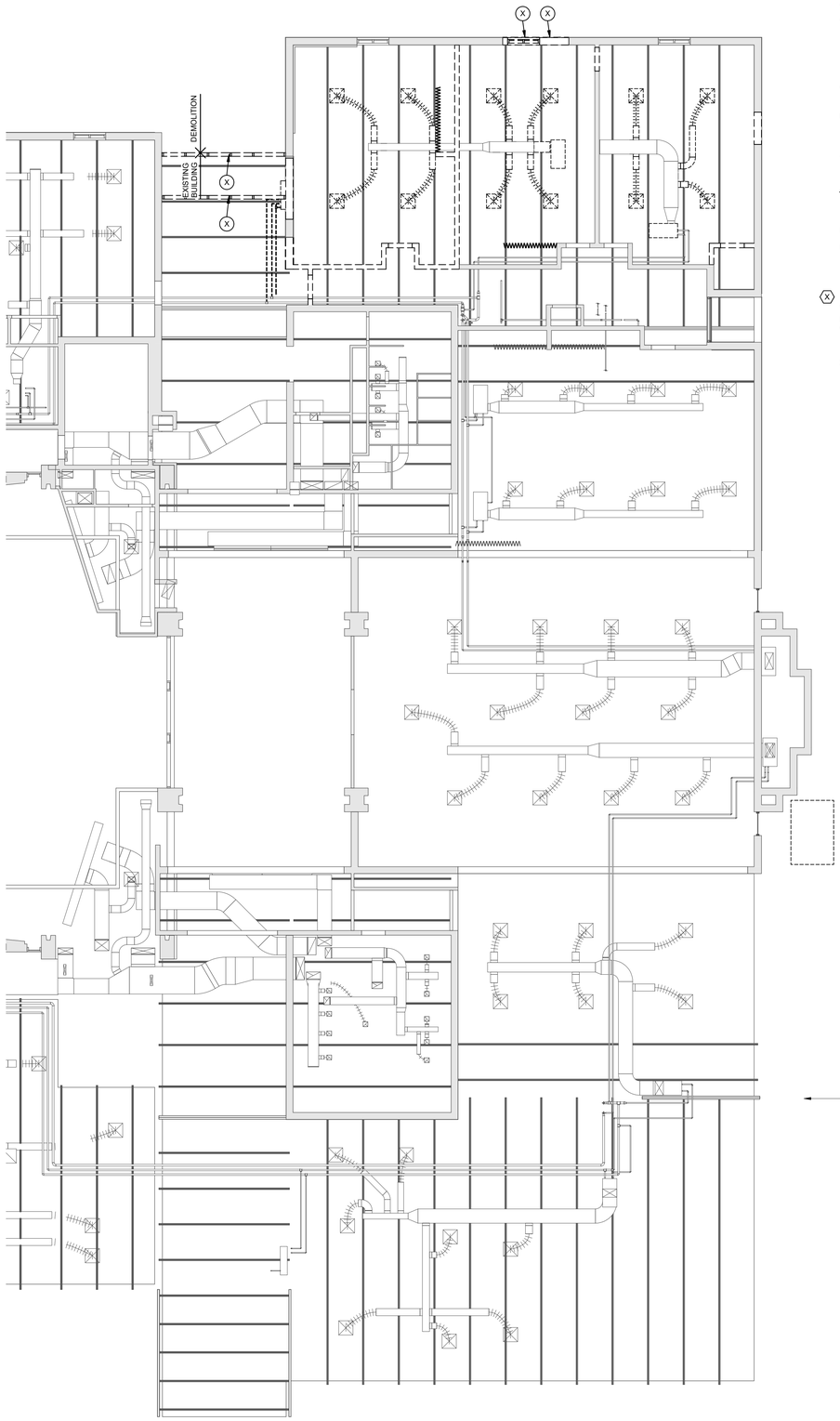
CEILING
DEMOLITION PLAN

Sheet No.
A 0.2



GENERAL NOTES

A. XXX

LEGEND

MEMBRANE ROOF

TAPERED INSULATION

ELEVATION DATUM OR WORK POINT

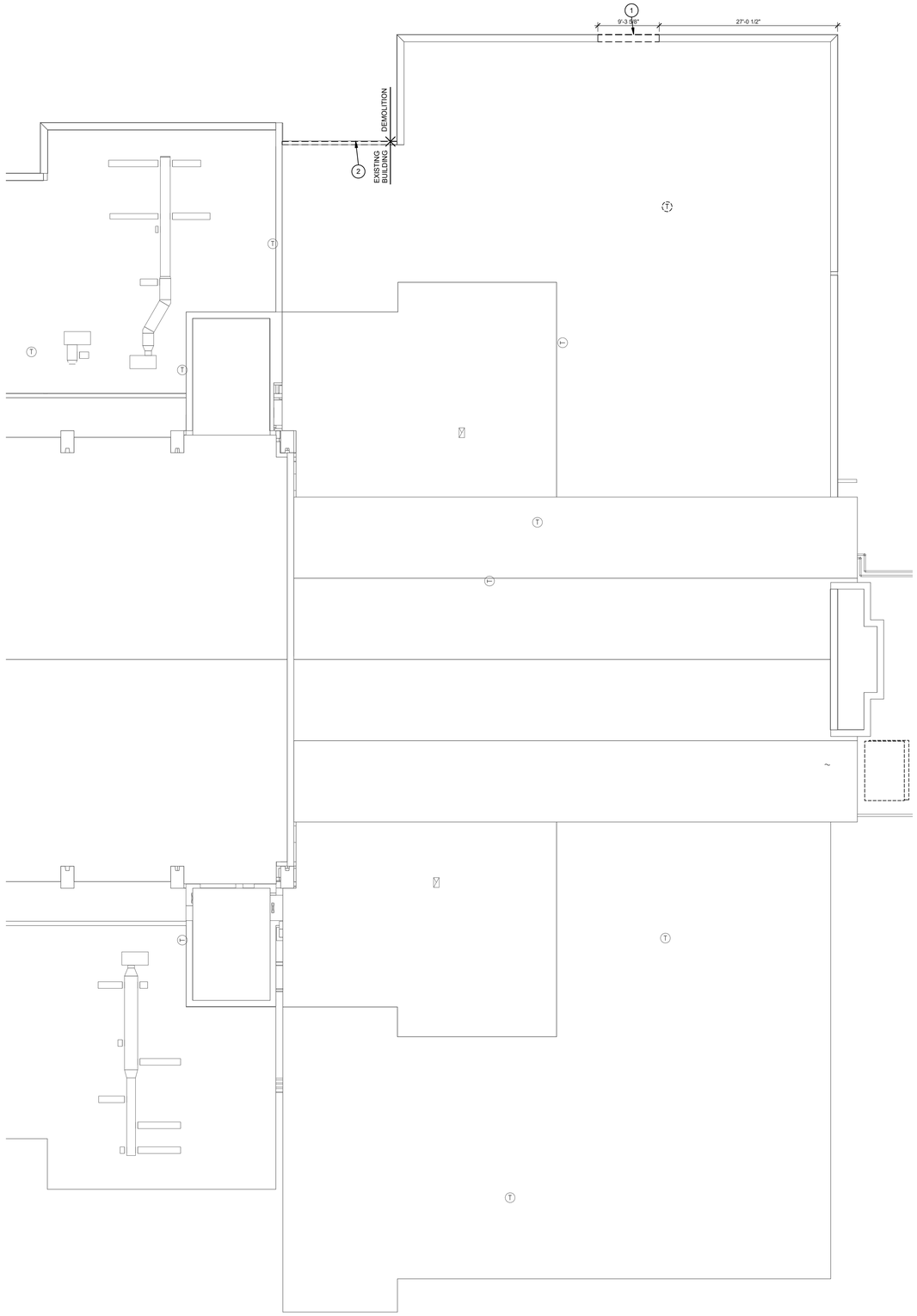
RD = ROOF DRAIN

ERD = XXX

(X) ROOF DEMOLITION NOTES

RD = ROOF DRAIN
OF = OVER FLOW DRAIN

1. REMOVE PARTIAL EXISTING WALL AND COPING.
2. EDGE OF EXISTING ROOM MEETS FUTURE NEW ROOF.



GENERAL NOTES

A. XXX

DEMO FRAMING NOTES

1. REMOVE EXISTING FRAMING JOIST.
2. REMOVE EXISTING STRUCUTRAL BEAM.
3. CUT AND REMOVE EXISTING METAL DECK PORTION OVER CANOPY.

2 FIRST FLOOR FRAMING DEMOLITION
SCALE: 1/8" = 1'-0"

1 ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

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ROOF AND FRAMING DEMOLITION PLANS

Sheet No.
A 0.3

GENERAL NOTES

A. DOCUMENT PLANS ARE 100'-0" FINISH FLOOR WHICH IS EQUAL TO CIVIL ELEVATION 846.73'.

NOTES LEGEND

B.E.J. = BRICK EXPANSION JOINT
C.J. = CMU CONTROL JOINT
EX.JT.= BUILDING EXPANSION JOINT
WB = WHITE BOARD

(DASHED LINE) INDICATED GYPSUM BOARD SOFFIT ABOVE.

ROOM NAME
[000]
151 SF

101 — DOOR NUMBER, REFER TO SHEET A6.2

CW0 — WINDOW TAG, REFER TO SHEET A6.1

1 — FLOOR PLAN CONSTRUCTION NOTE

0 — STRUCTURAL GRID

A1 — WALL TYPE, REFER TO SHEET A0.0

EXISTING WALL

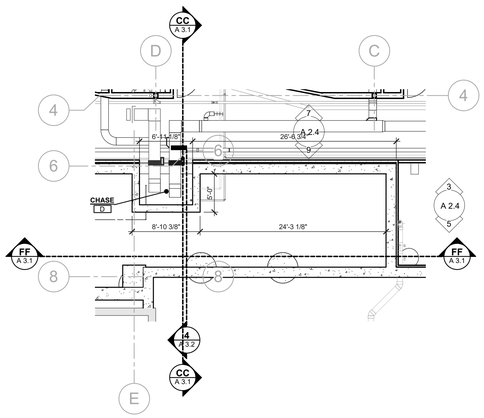
NEW CONCRETE MASONRY WALL

NEW CONCRETE MASONRY UNIT WALL

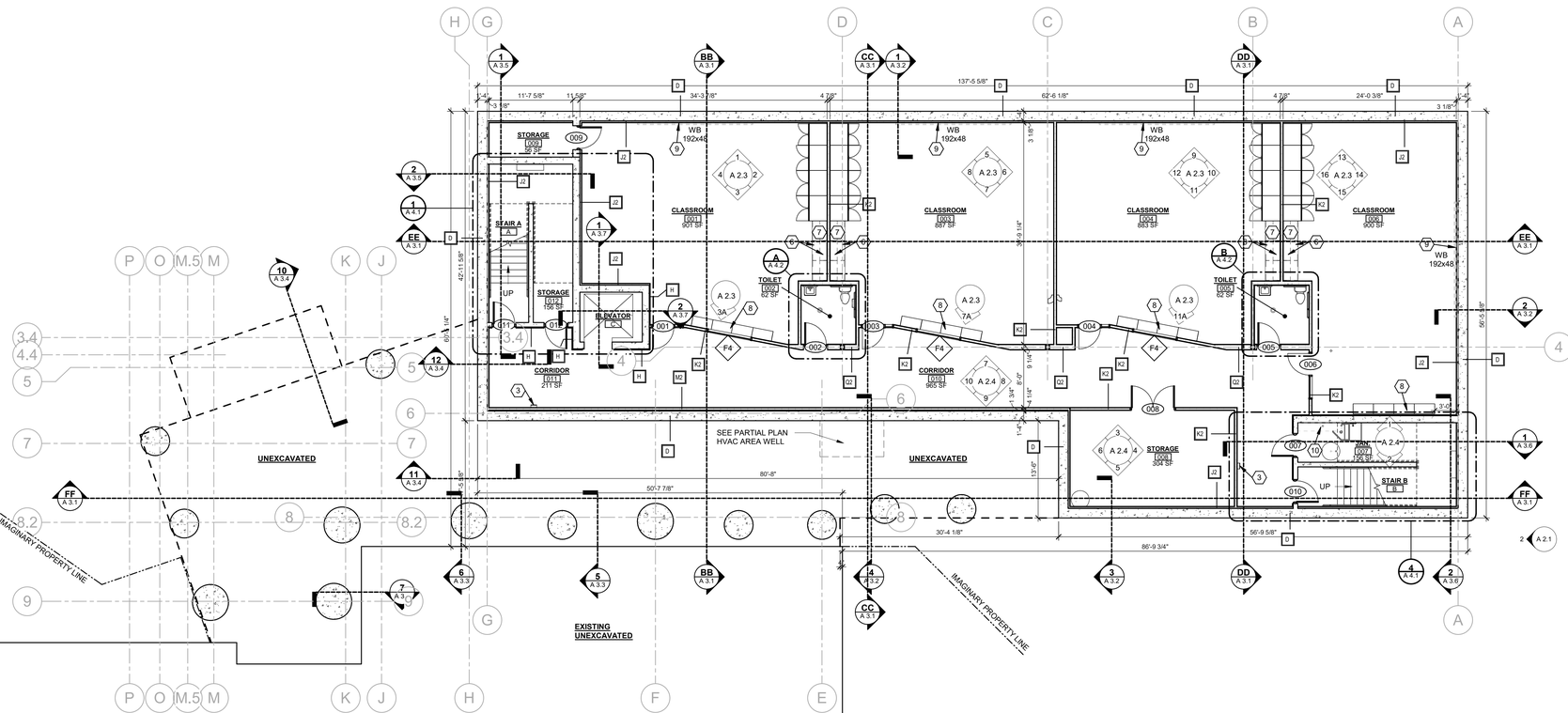
NEW METAL STUD WALL WITH SOUND BATT

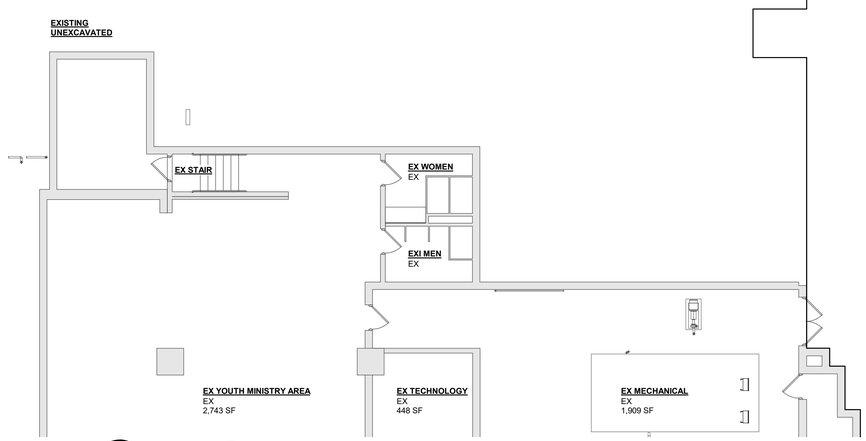
FLOOR PLAN NOTES

1. PAINTED STEEL COLUMN
2. ADA PUSH BUTTON POST FOR AUTOMATIC DOOR OPERATOR, REFER TO ELECTRICAL SHEETS.
3. SEMI RECESSED FIRE RATED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. REFER TO SPECIFICATIONS FOR TYPE.
4. BRACKET MOUNTED FIRE EXTINGUISHER. REFER TO SPECIFICATIONS FOR TYPE.
5. ELECTRIC FIREPLACE WITH FULL HEIGHT STACKED STONE.
6. PLASTIC LAMINATE BASE & WALL CABINETS. SEE ELEVATIONS AND DETAILS.
7. COUNTER TOP AND BACKSPLASH, SEE FINISH SCHEDULE.
8. PLASTIC LAMINATE STUDENT CUBBIES AND STORAGE. SEE ELEVATIONS AND DETAILS.
9. WHITE BOARD WITH TRAY, FURNISHED AND INSTALLED BY OWNER. SEE ELEVATIONS.
10. ADJUSTABLE LAMINATE SHELVES ON BRACKET AND STANDARDS. SEE ELEVATIONS AND DETAILS.
11. WONDOOR, 90 MIN. RATING, 14'-7" LONG x 10' HIGH OPENING, VERIFY LENGTH AND HEIGHT.
12. MODERNFOLD ACOUSTI-CLEAR SERIES OPERABLE PARTITION. MANUAL OPERATION. MIN. 45 STC. REFER TO SPECIFICATIONS, INTERIOR ELEVATIONS, & DETAILS. 27'-6" LONG x 10' HIGH OPENING, VERIFY LENGTH.
13. FIRE RATED WINDOW OPENING.
14. 4'-0" HIGH PAINTED WOOD PICKET FENCE AND GATE TO MATCH, FURNISHED AND INSTALLED BY OWNER.
15. ROOF LADDER - SEE DETAILS ON SHEET A5.X
16. RELOCATED KNOCK BOX.
17. TEMPORARY CONSTRUCTION EGRESS DOOR.
18. FRAME IN FORMER WINDOW OPENING TO MATCH ADJACENT WALL TYPE AND FINISH.
19. TOUCH-UP EXISTING WALLS AFTER CEILING WORK IS COMPLETE.
20. THEMATIC TECH. FURNISHED AND INSTALLED BY OWNER.
21. ELECTRIC BUBBLE WALL FURNISHED AND INSTALLED BY OWNER.



2 PARTIAL PLAN HVAC AREA WELL
SCALE: 1/8" = 1'-0"





1 LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Comm. No.
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LOWER LEVEL FLOOR PLAN

Sheet No.
A 1.0

GENERAL NOTES

A. DOCUMENT PLANS ARE 100'-0" FINISH FLOOR WHICH IS EQUAL TO CIVIL ELEVATION 846.73'.

NOTES LEGEND

B.E.J. = BRICK EXPANSION JOINT
C.J. = CMU CONTROL JOINT
EX.JT.= BUILDING EXPANSION JOINT
WB = WHITE BOARD

(DASHED LINE) INDICATED GYPSUM BOARD SOFFIT ABOVE.

ROOM NAME
[9999]
150 SF

101 — DOOR NUMBER, REFER TO SHEET A6.2

CW01 — WINDOW TAG, REFER TO SHEET A6.1

1 — FLOOR PLAN CONSTRUCTION NOTE

0 — STRUCTURAL GRID

A1 — WALL TYPE, REFER TO SHEET A0.0

EXISTING WALL

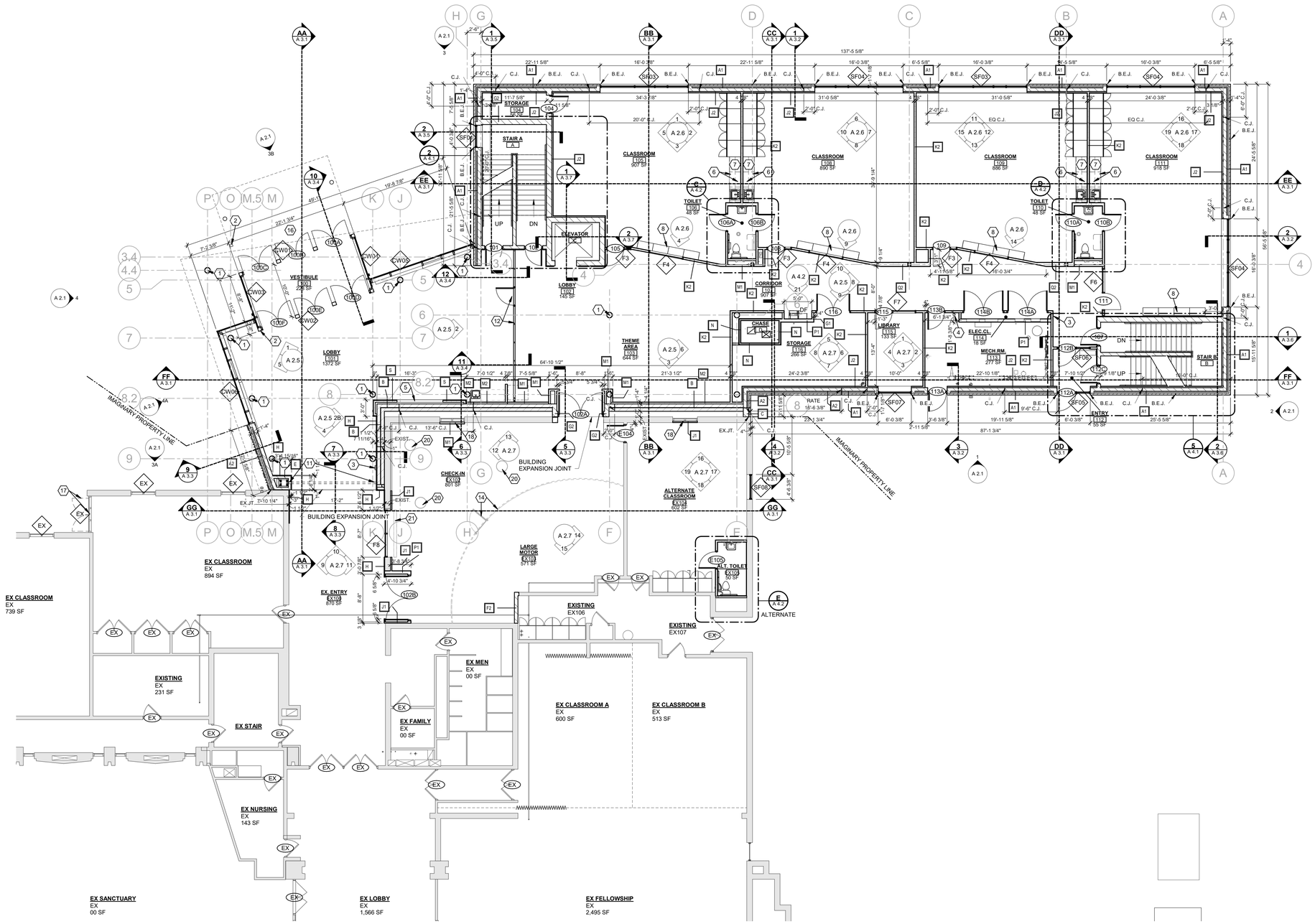
NEW CONCRETE MASONRY WALL

NEW CONCRETE MASONRY UNIT WALL

NEW METAL STUD WALL WITH SOUND BATT

FLOOR PLAN NOTES

1. PAINTED STEEL COLUMN
2. ADA PUSH BUTTON POST FOR AUTOMATIC DOOR OPERATOR, REFER TO ELECTRICAL SHEETS.
3. SEMI RECESSED FIRE RATED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. REFER TO SPECIFICATIONS FOR TYPE.
4. BRACKET MOUNTED FIRE EXTINGUISHER. REFER TO SPECIFICATIONS FOR TYPE.
5. ELECTRIC FIREPLACE WITH FULL HEIGHT STACKED STONE.
6. PLASTIC LAMINATE BASE & WALL CABINETS. SEE ELEVATIONS AND DETAILS.
7. COUNTER TOP AND BACKSPLASH, SEE FINISH SCHEDULE.
8. PLASTIC LAMINATE STUDENT CUBBIES AND STORAGE. SEE ELEVATIONS AND DETAILS.
9. WHITE BOARD WITH TRAY, FURNISHED AND INSTALLED BY OWNER. SEE ELEVATIONS.
10. ADJUSTABLE LAMINATE SHELVES ON BRACKET AND STANDARDS. SEE ELEVATIONS AND DETAILS.
11. WONDOOR, 90 MIN. RATING. 14'-7" LONG x 10' HIGH OPENING, VERIFY LENGTH AND HEIGHT.
12. MODERNFOLD ACOUSTI-CLEAR SERIES OPERABLE PARTITION. MANUAL OPERATION. MIN. 45 STC. REFER TO SPECIFICATIONS, INTERIOR ELEVATIONS, & DETAILS. 27'-6" LONG x 10' HIGH OPENING, VERIFY LENGTH.
13. FIRE RATED WINDOW OPENING.
14. 4'-0" HIGH PAINTED WOOD PICKET FENCE AND GATE TO MATCH, FURNISHED AND INSTALLED BY OWNER.
15. ROOF LADDER - SEE DETAILS ON SHEET A5.X
16. RELOCATED KNOCK BOX.
17. TEMPORARY CONSTRUCTION EGRESS DOOR.
18. FRAME IN FORMER WINDOW OPENING TO MATCH ADJACENT WALL TYPE AND FINISH.
19. TOUCH-UP EXISTING WALLS AFTER CEILING WORK IS COMPLETE.
20. THEMATIC TECH. FURNISHED AND INSTALLED BY OWNER.
21. ELECTRIC BUBBLE WALL FURNISHED AND INSTALLED BY OWNER.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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FIRST FLOOR PLAN

Sheet No.
A 1.1

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(DASHED LINE) INDICATED GYPSUM BOARD SOFFIT ABOVE.

ROOM NAME
[###]
150 SF

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A1 — WALL TYPE, REFER TO SHEET A0.0

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NEW CONCRETE MASONRY UNIT WALL

NEW METAL STUD WALL WITH SOUND BATT

FLOOR PLAN NOTES

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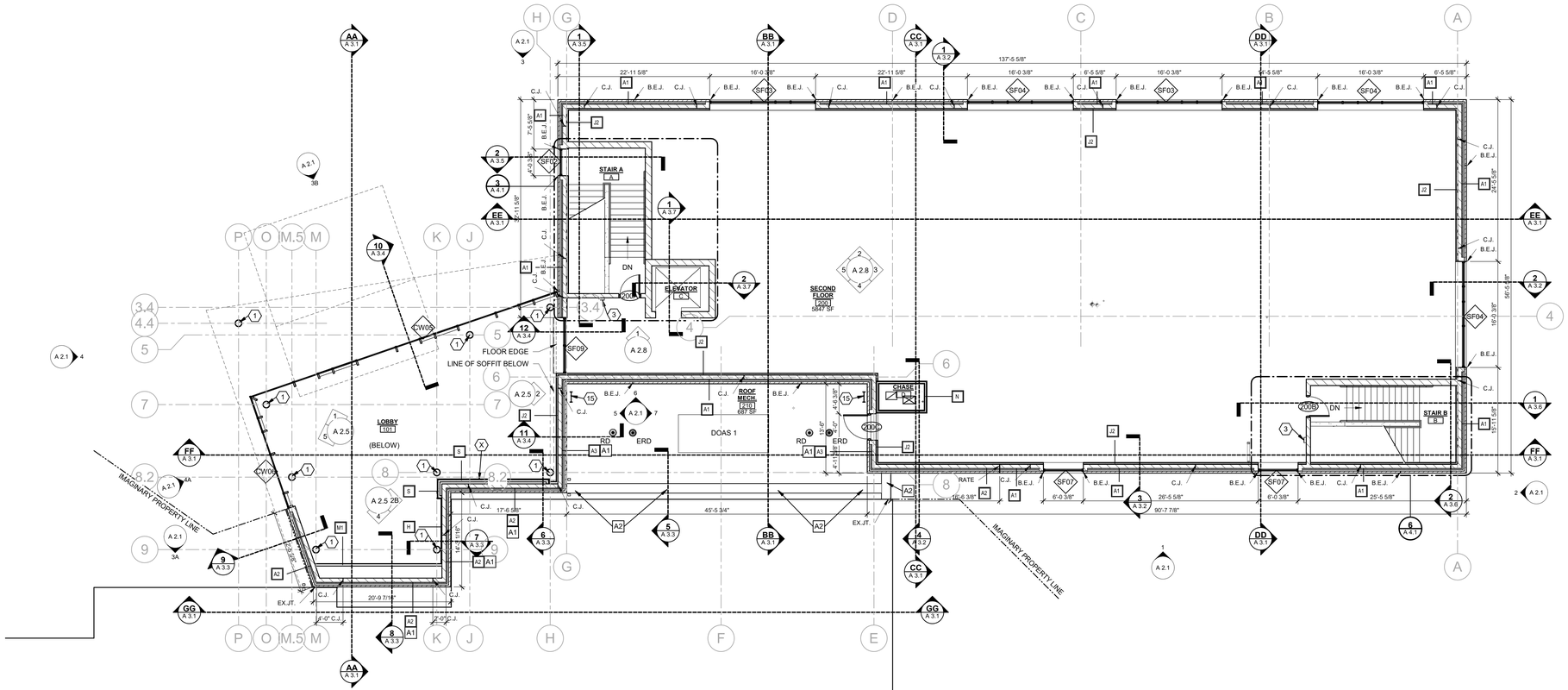

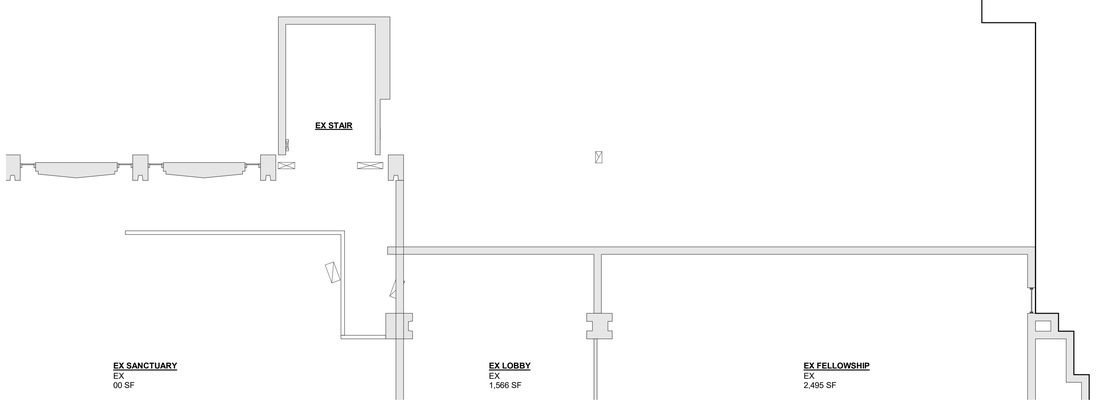

EX SANCTUARY
EX
00 SF

EX LOBBY
EX
1,566 SF

EX FELLOWSHIP
EX
2,495 SF

1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

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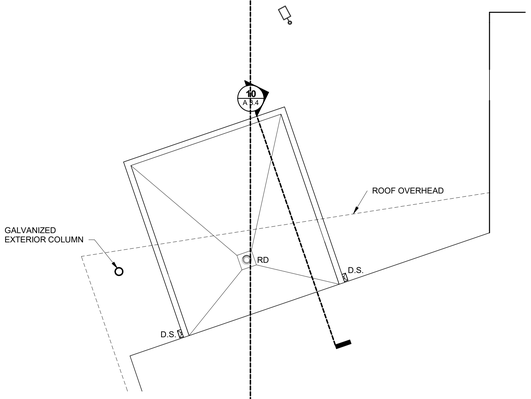
SECOND FLOOR

Sheet No.
A 1.2



2 ROOF PLAN, lower canopy
SCALE: 1/8" = 1'-0"

GENERAL NOTES

A. SEE SHEET A 0.3 FOR EXISTING LOW ROOF DEMOLITION WORK.

B. REFER TO SPECIFICATIONS FOR LOW SLOPE ROOF ASSEMBLY.

C. COORDINATE ROOF PENETRATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS.

D. ALL FLASHNIG BOOTS AND OTHER ROOFING ACCESSORES REQUIRED FOR PENETRATIONS SHALL BE PROVIDED BY THE ROOFING CONTRACTOR.

LEGEND

MEMBRANE ROOF

TAPERED INSULATION

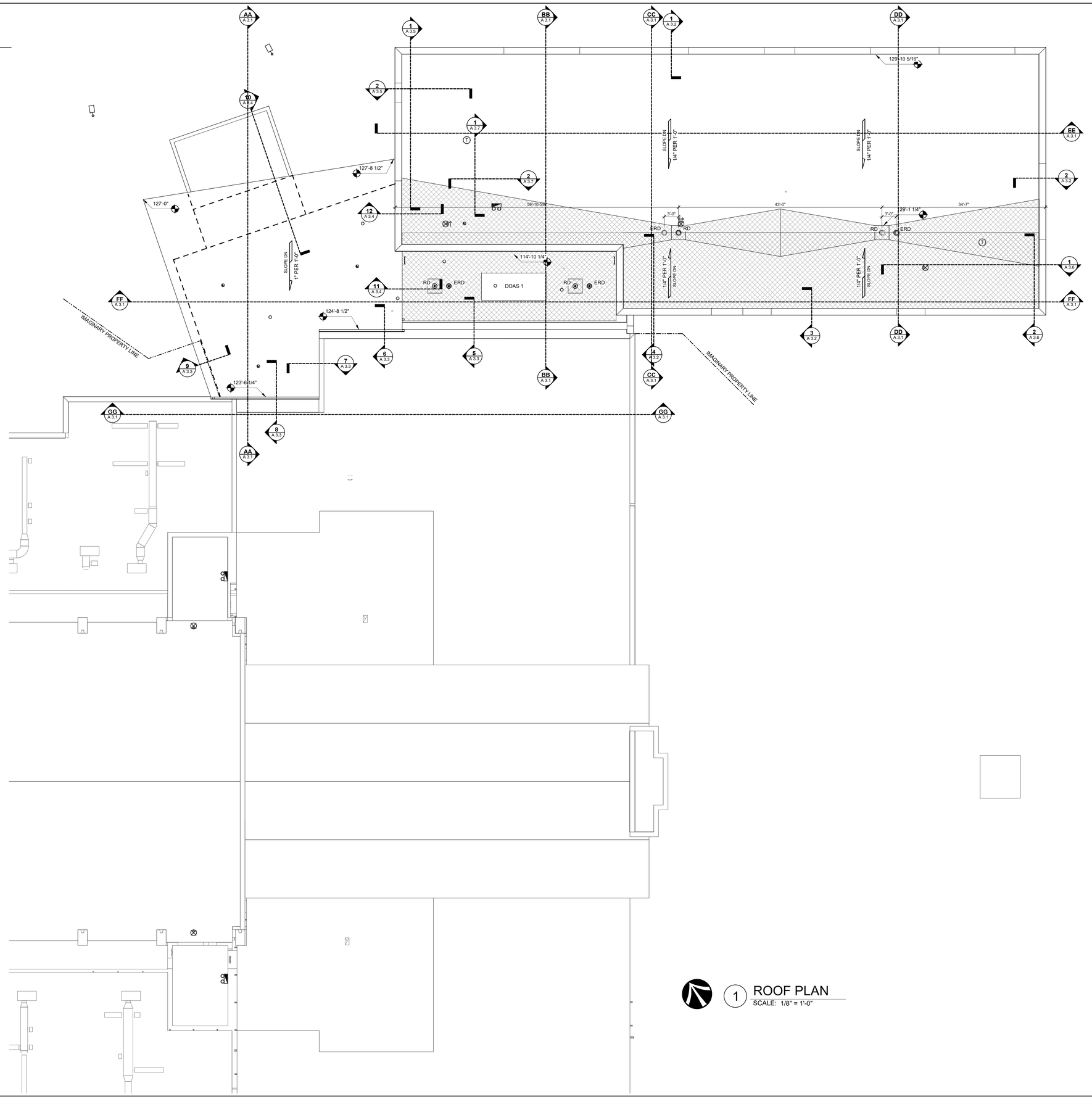
ELEVATION DATUM OR WORK POINT

RD = ROOF DRAIN

ERD = XXX

ROOF NOTES

1. ROOF ACCESS HATCH.
2. WALKWAY PADS. REFER TO SPECIFICATIONS.
3. ROOF PENETRATION. REFER TO PME DRAWINGS.
4. ROOF LADDER.
5. ROOF GUTTER. REFER TO DETAILS ON A-506
6. SUN SHADES (BELOW). REFER TO CURTAINWALL SPECIFICATION
7. MECHANICAL EQUIPMENT SCREEN WALL



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

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EXPIRATION DATE: 12/31/2019

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Comm. No.
61716

ROOF PLAN

Sheet No.
A 1.3

GENERAL NOTES

A. DOCUMENT PLANS ARE 100'-0" FINISH FLOOR WHICH IS EQUAL TO CIVIL ELEVATION 846.73'.

B. CONTROL JOINTS INDICATED ON THE EXTERIOR ELEVATIONS ARE FOR FACE BRICK ONLY.

C. WINDOW SYSTEMS - 'CW--' OR 'SF--', REFER TO DETAIL ELEVATIONS ON A 6.1.

GLAZING LEGEND

LOW-E COATED, CLEAR, INSULATING GLASS (T=TEMPERED)

SPANDREL, INSULATING GLASS

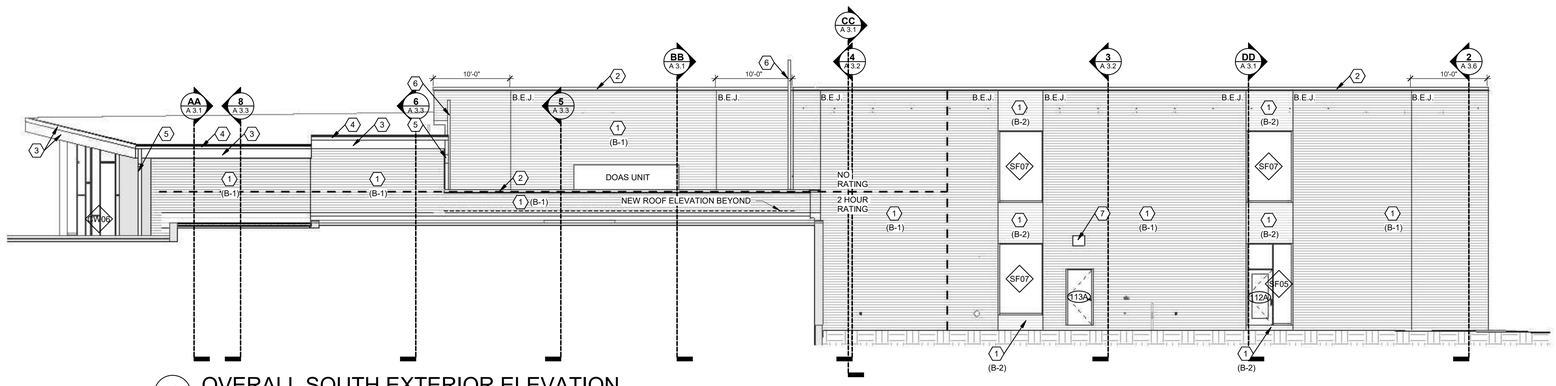
NOTES LEGEND

B.E.J. = BRICK EXPANSION JOINT

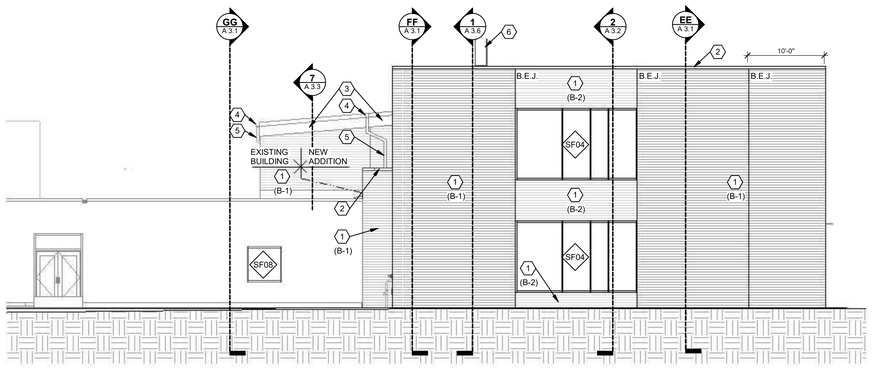
B-1: (BROWN) UTILITY GLEN-BERY CHATEAU BROWN BRICK
B-2: (TAN) UTILITY BELDEN QUAKER BLEND VELOUR A BRICK
B-3: (BROWN) UTILITY THIN BRICK GLEN-GERY CHATEAU BROWN

(X) EXTERIOR ELEVATION NOTES

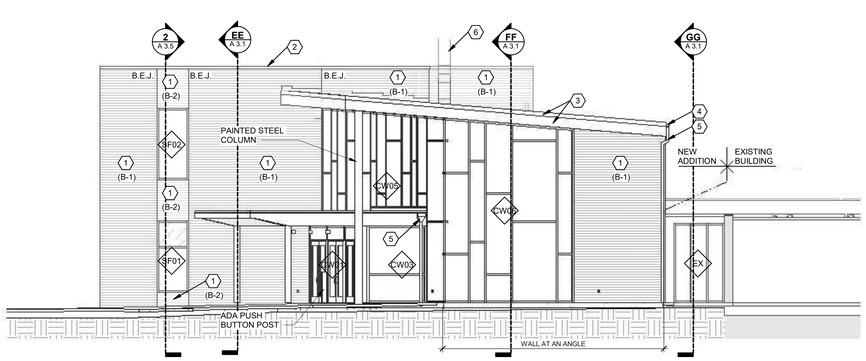
1. BRICK VENEER. REFER TO SPECIFICATION
2. PRE-FINISHED COPING. REFER TO SPECIFICATIONS.
3. PRE-FINISHED ROOF EDGE AND FASCIA.
4. PRE-FINISHED GUTTER
5. PRE-FINISHED DOWNSPOUT
6. ROOF ACCESS LADDER
7. HVAC GRILL, SEE STRUCTURAL DRAWINGS FOR LINTEL AND HVAC DRAWINGS FOR SIZE



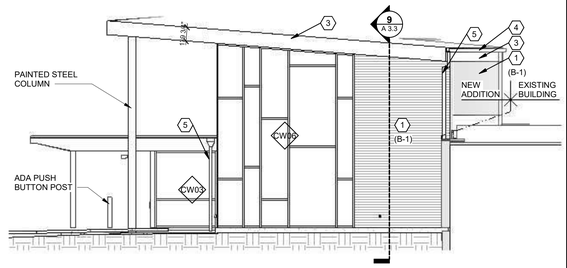
1 OVERALL SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



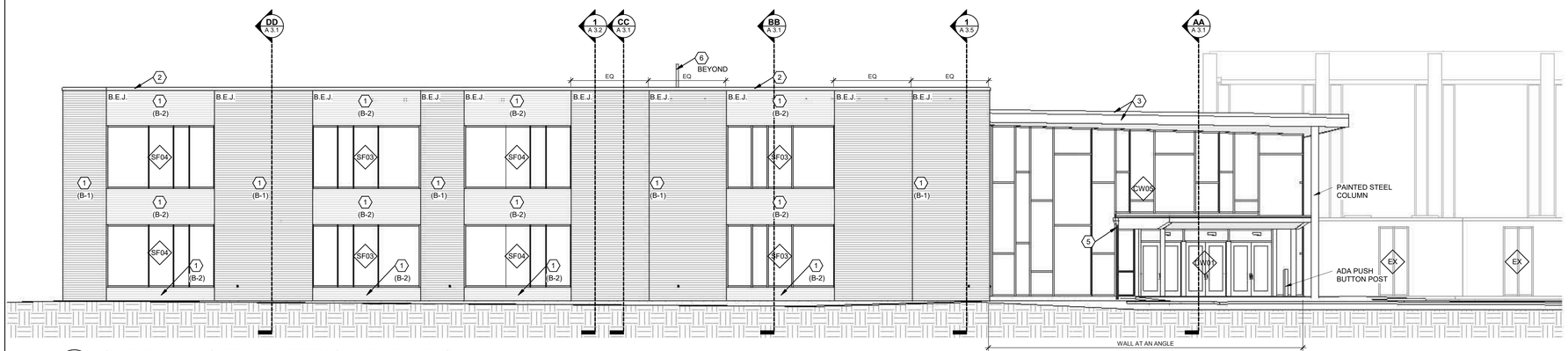
2 OVERALL EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



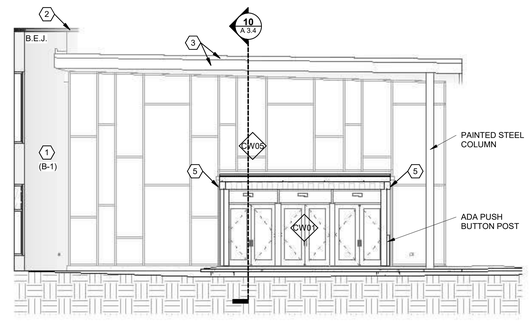
4 OVERALL WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



4A PARTIAL WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3 OVERALL NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3B PARTIAL NORTH EXTERIOR ELEVATION
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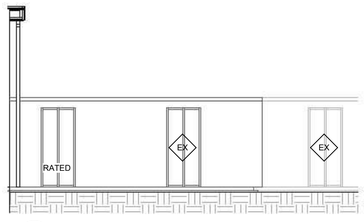

3A PARTIAL NORTH EXTERIOR
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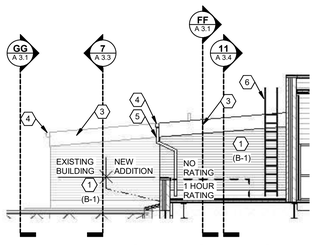
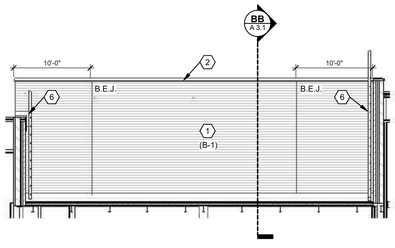
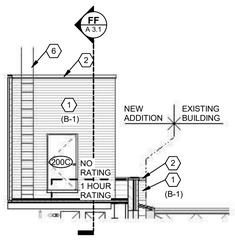


5 PARTIAL WEST MECHANICAL
SCALE: 1/8" = 1'-0"



6 PARTIAL NORTH MECHANICAL
SCALE: 1/8" = 1'-0"



7 PARTIAL EAST MECHANICAL
SCALE: 1/8" = 1'-0"

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May 20, 2019
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Revisions:

NEW ADDITION TO:
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd., Kettering, Ohio

Comm. No.
61716

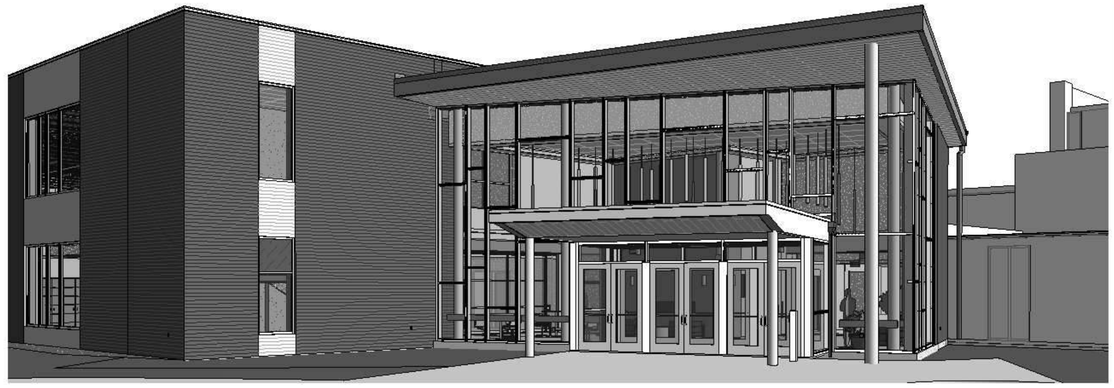
EXTERIOR ELEVATIONS

Sheet No.
A 2.1

A SOUTHEAST CORNER
SCALE:

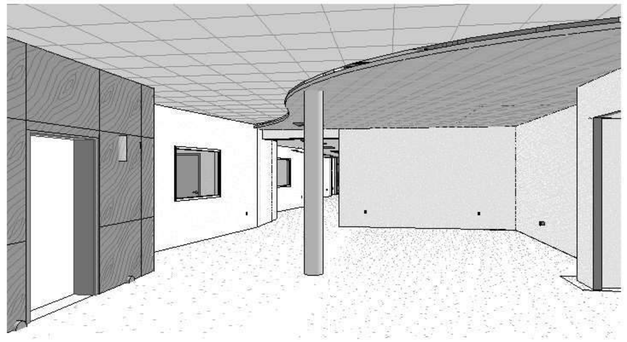
B NORTHEAST CORNER
SCALE:

C NORTH PERSPECTIVE
SCALE:

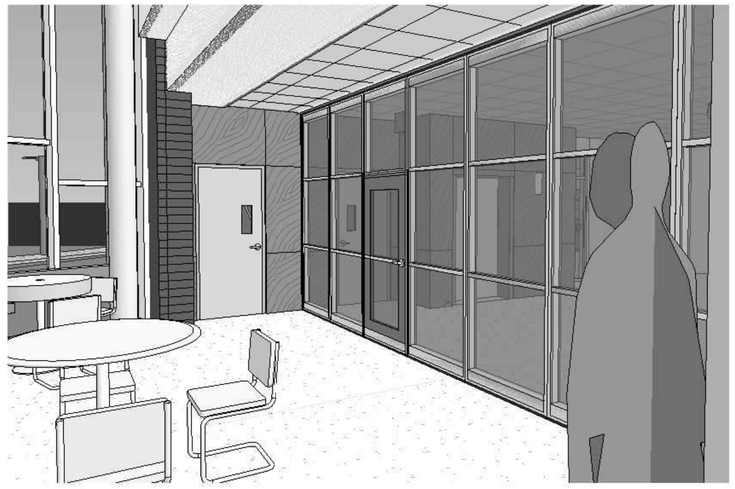


D NORTHWEST CORNER
SCALE:

E INTERIOR LOBBY PERSPECTIVE
SCALE:



F INTERIOR THEME PERSPECTIVE
SCALE:



G INTERIOR LOBBY PERSPCTIVE
SCALE:

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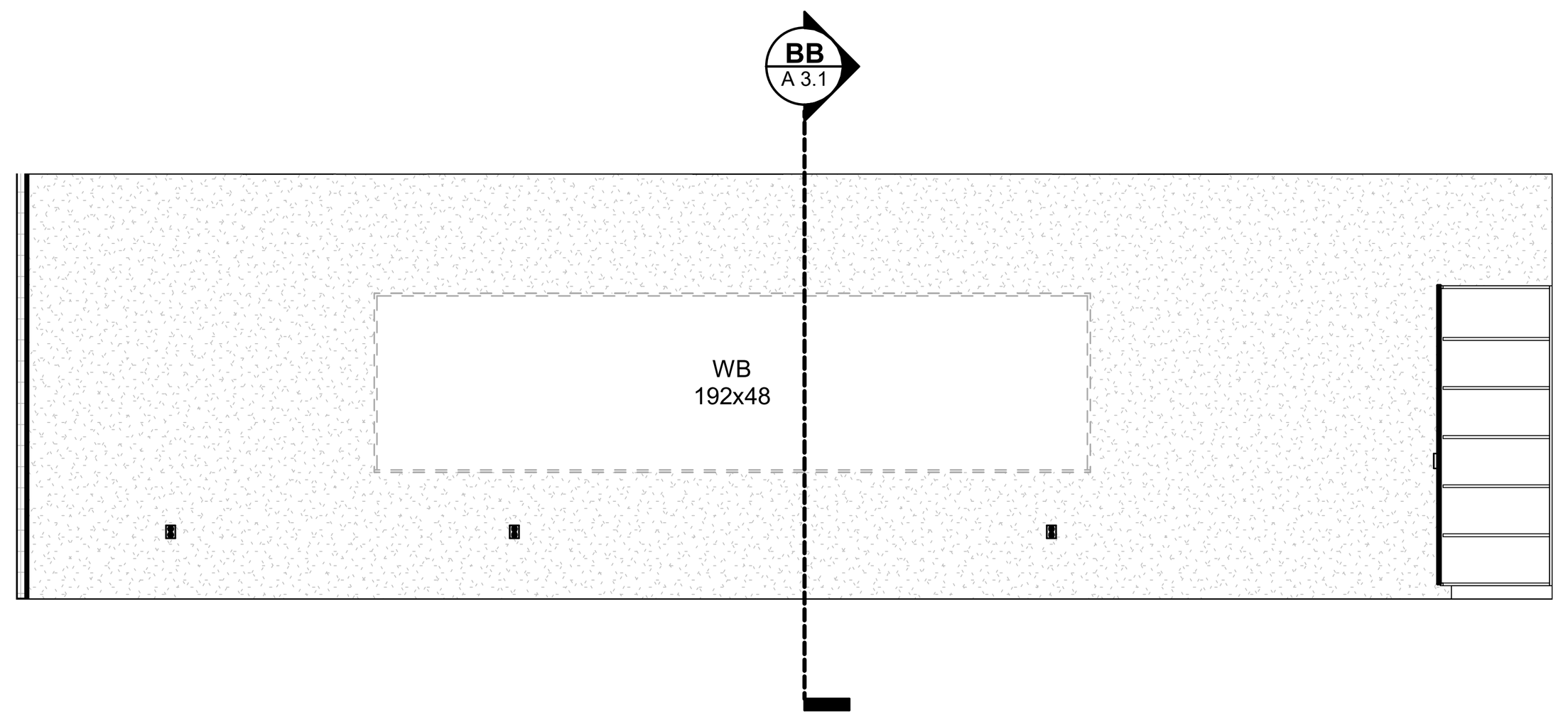
PERSPECTIVES

Sheet No.
A 2.2



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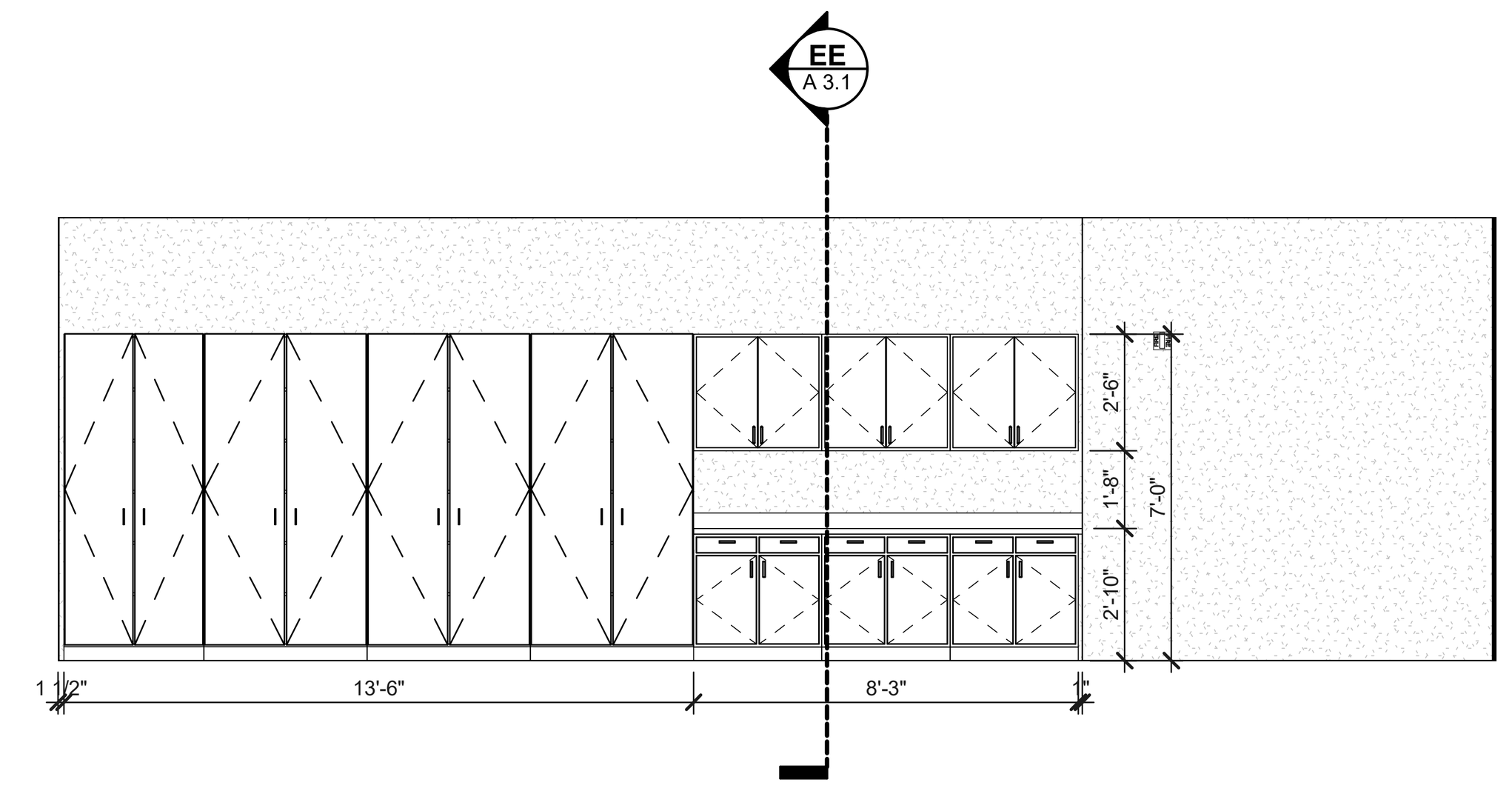
SCALE: 1/4" = 1'-0"



2 001 EAST ELEVATION
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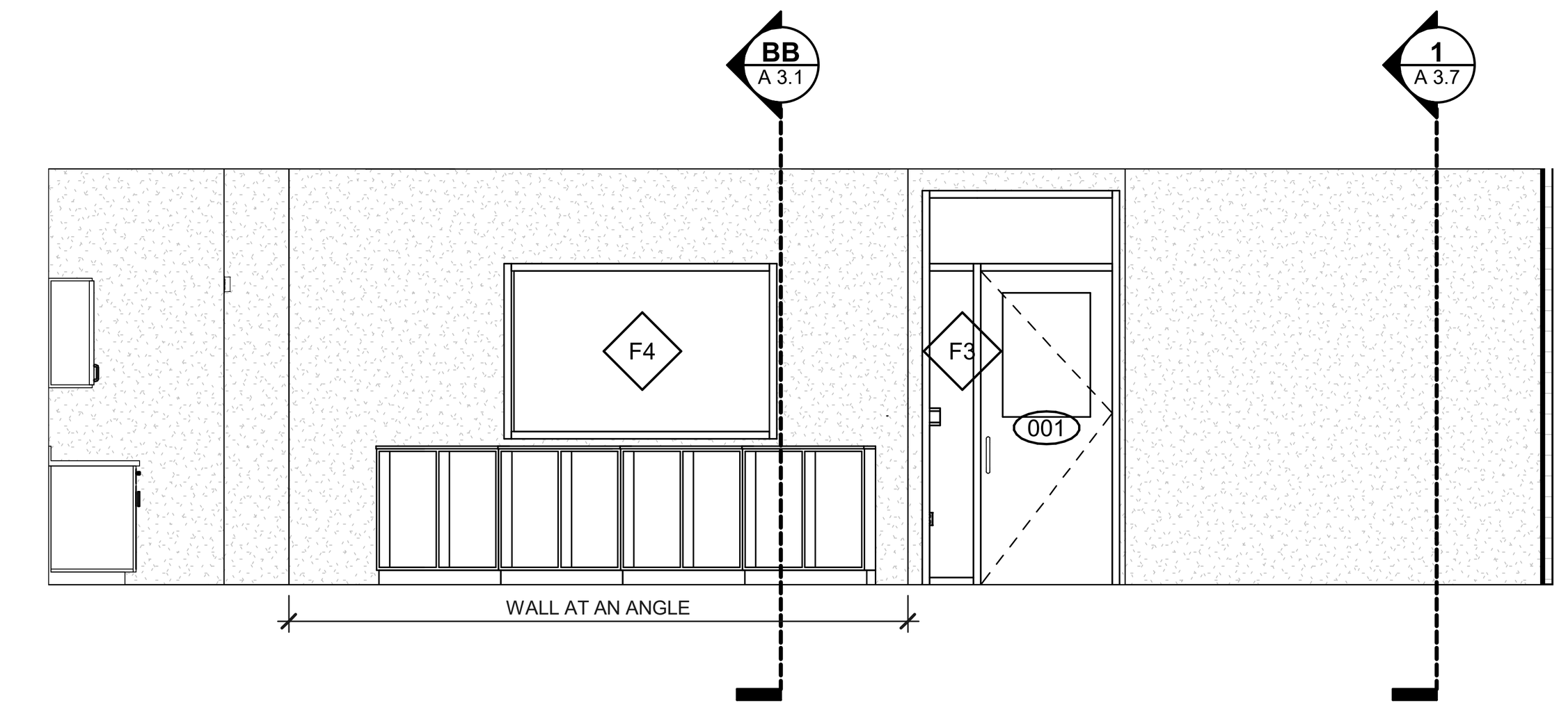

3 001 SOUTH ELEVATION
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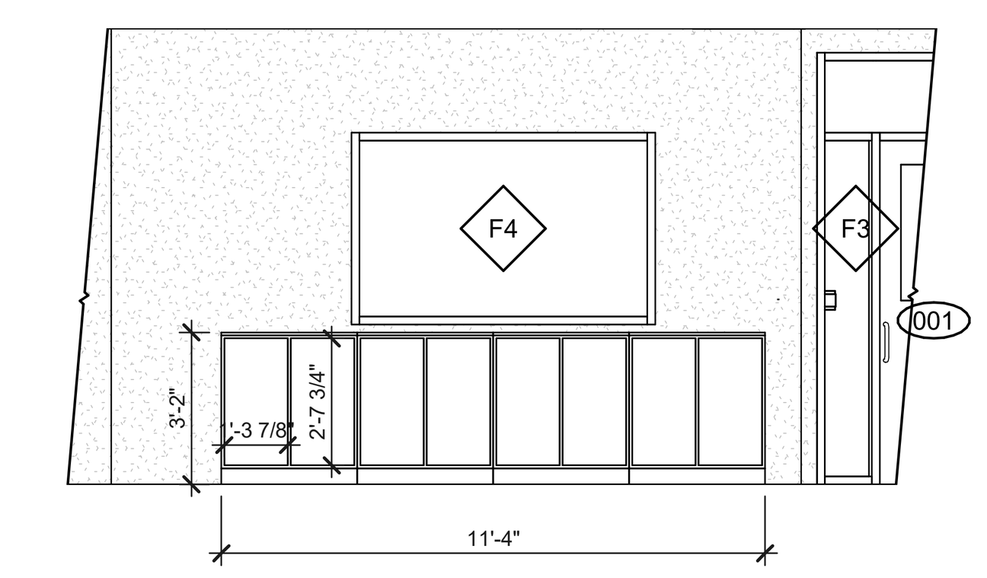

3A 001 PARTIAL SOUTH ELEV.
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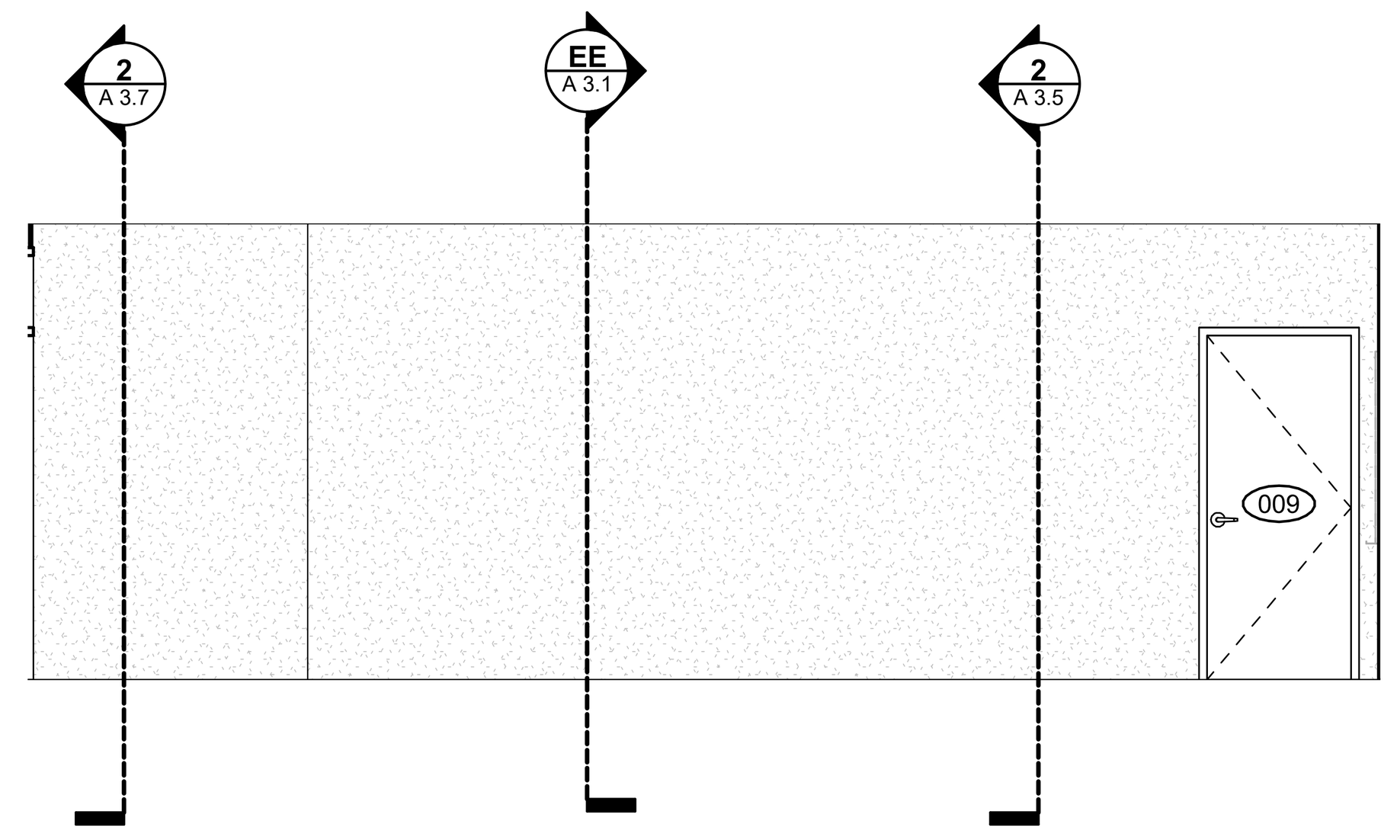
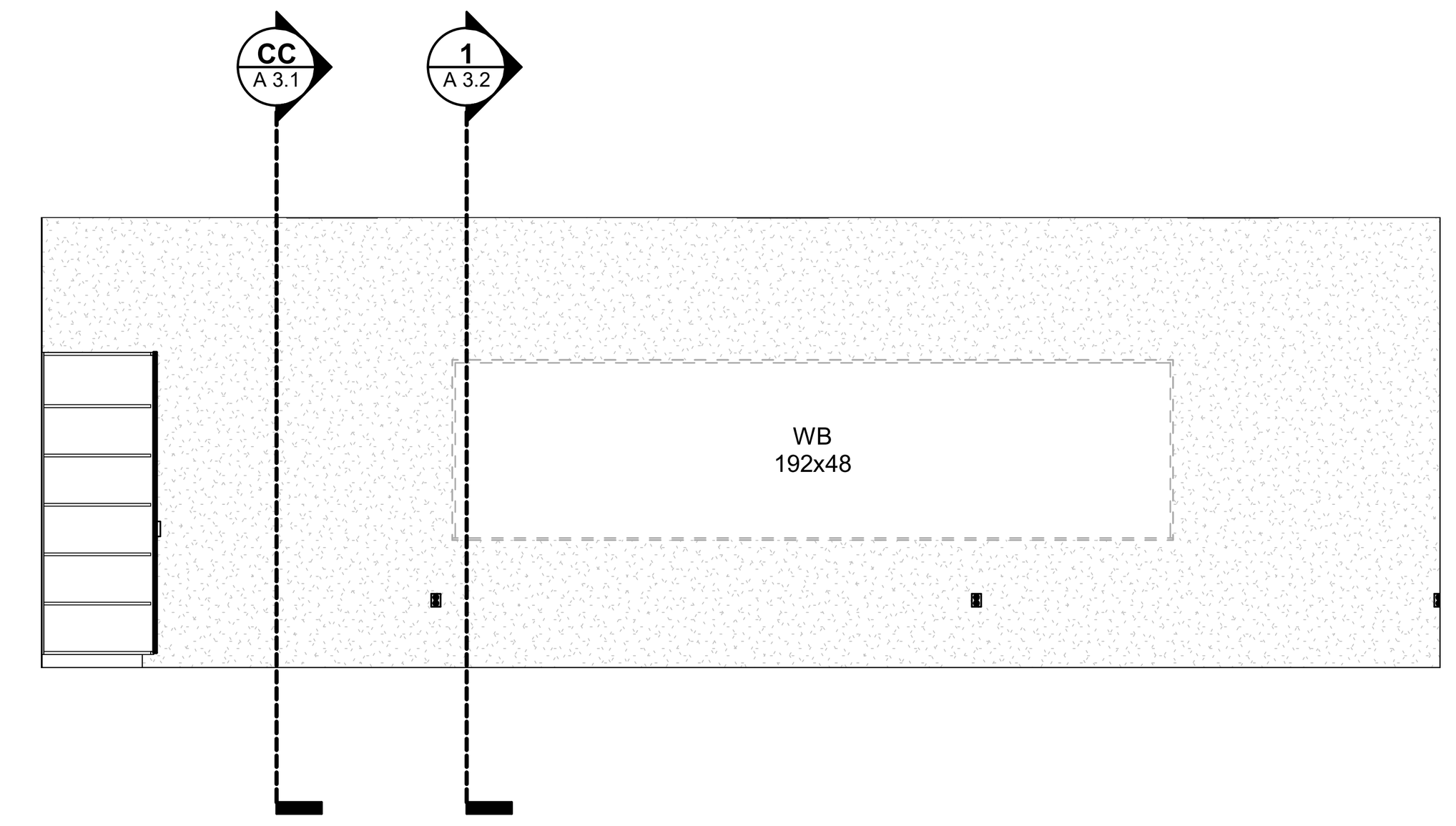
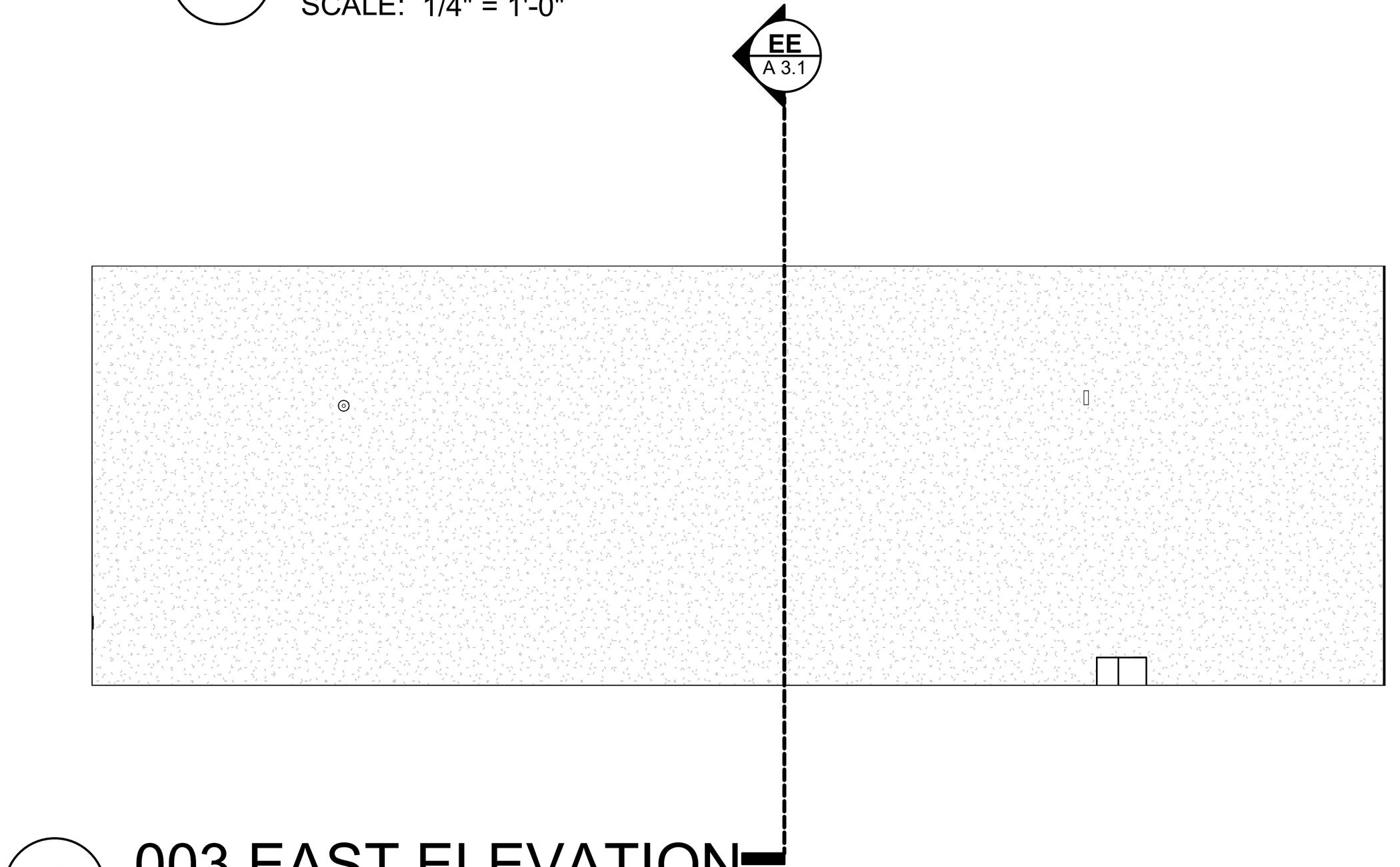


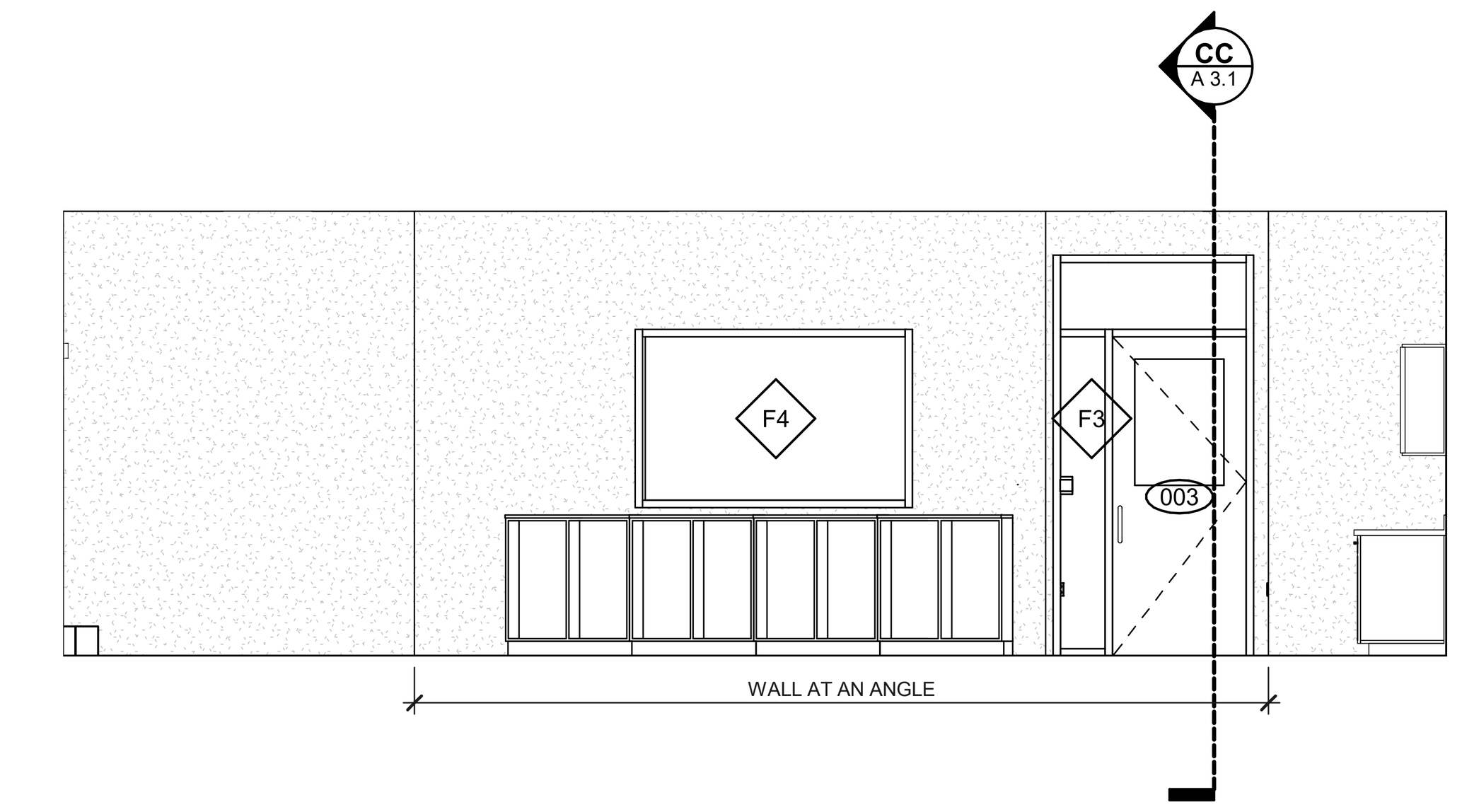
4 001 WEST ELEVATION
SCALE: 1/4" = 1'-0"



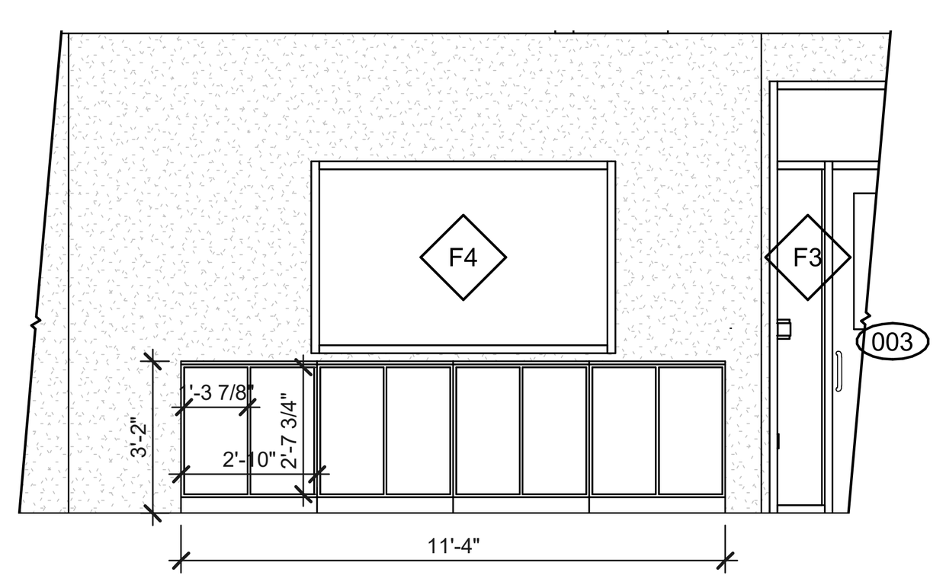
5 003 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



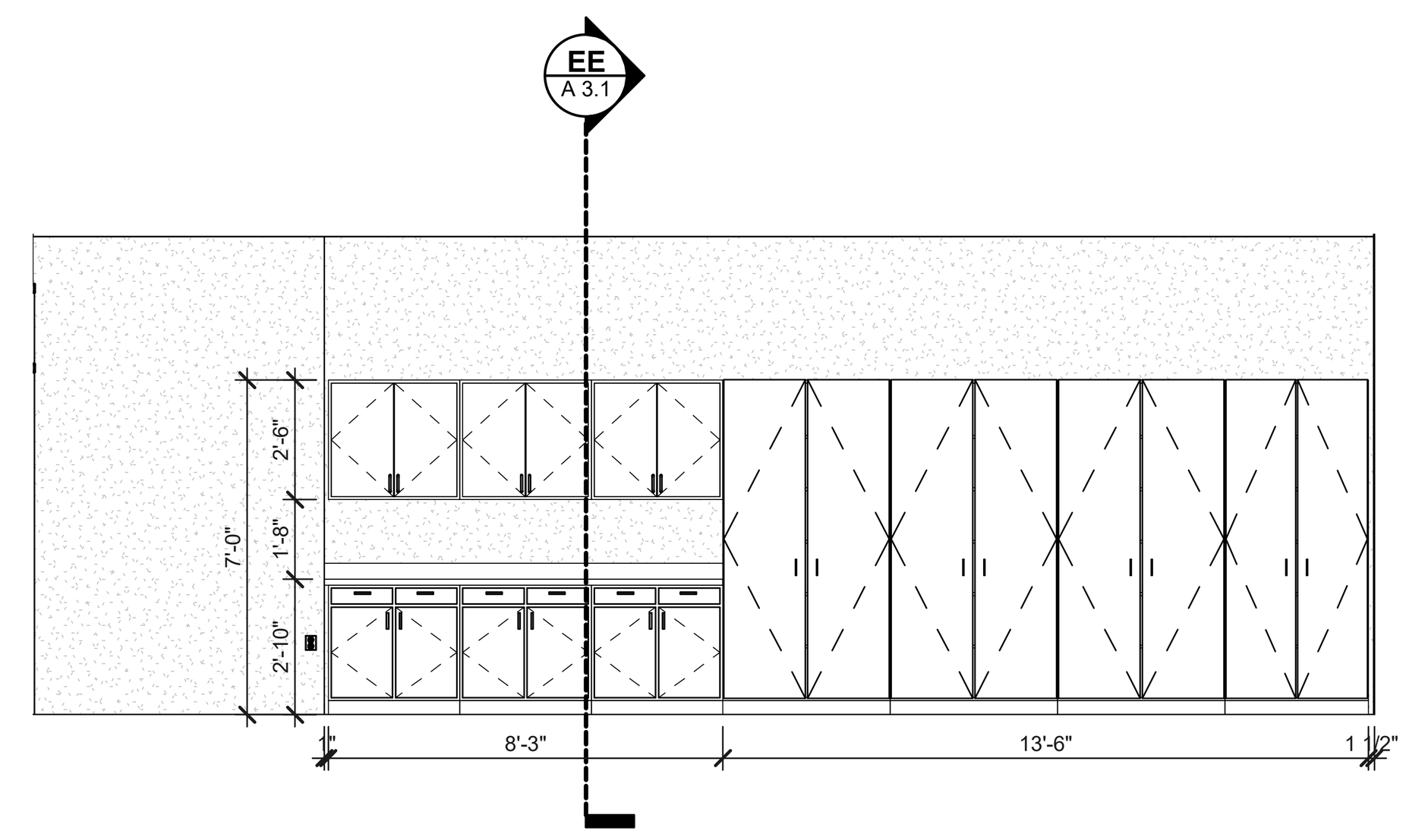
6 003 EAST ELEVATION
SCALE: 1/4" = 1'-0"



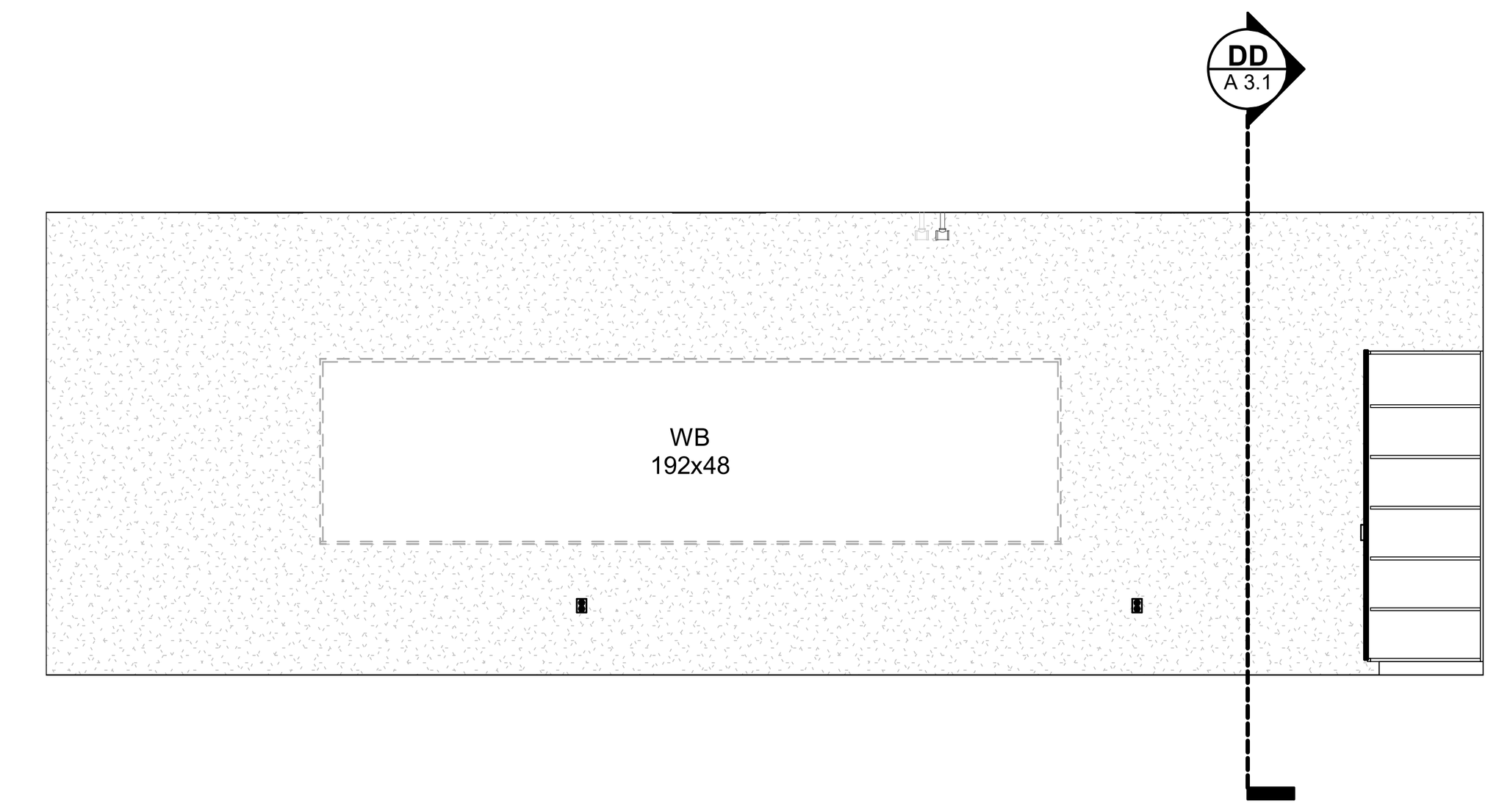
7 003 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



7A 003 PARTIAL SOUTH ELEV.
SCALE: 1/4" = 1'-0"



8 003 WEST ELEVATION
SCALE: 1/4" = 1'-0"



9 004 NORTH ELEVATION
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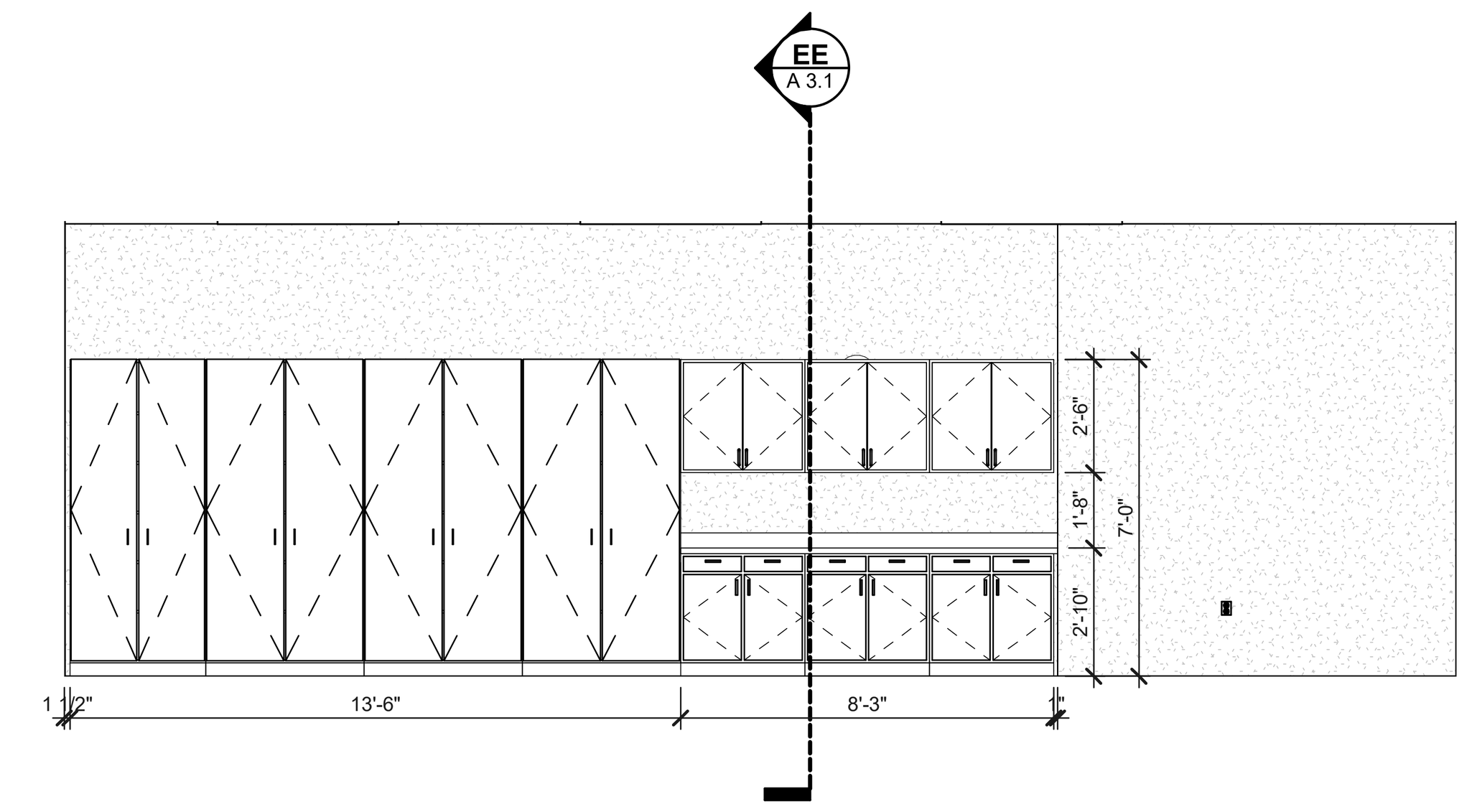

10 004 EAST ELEVATION
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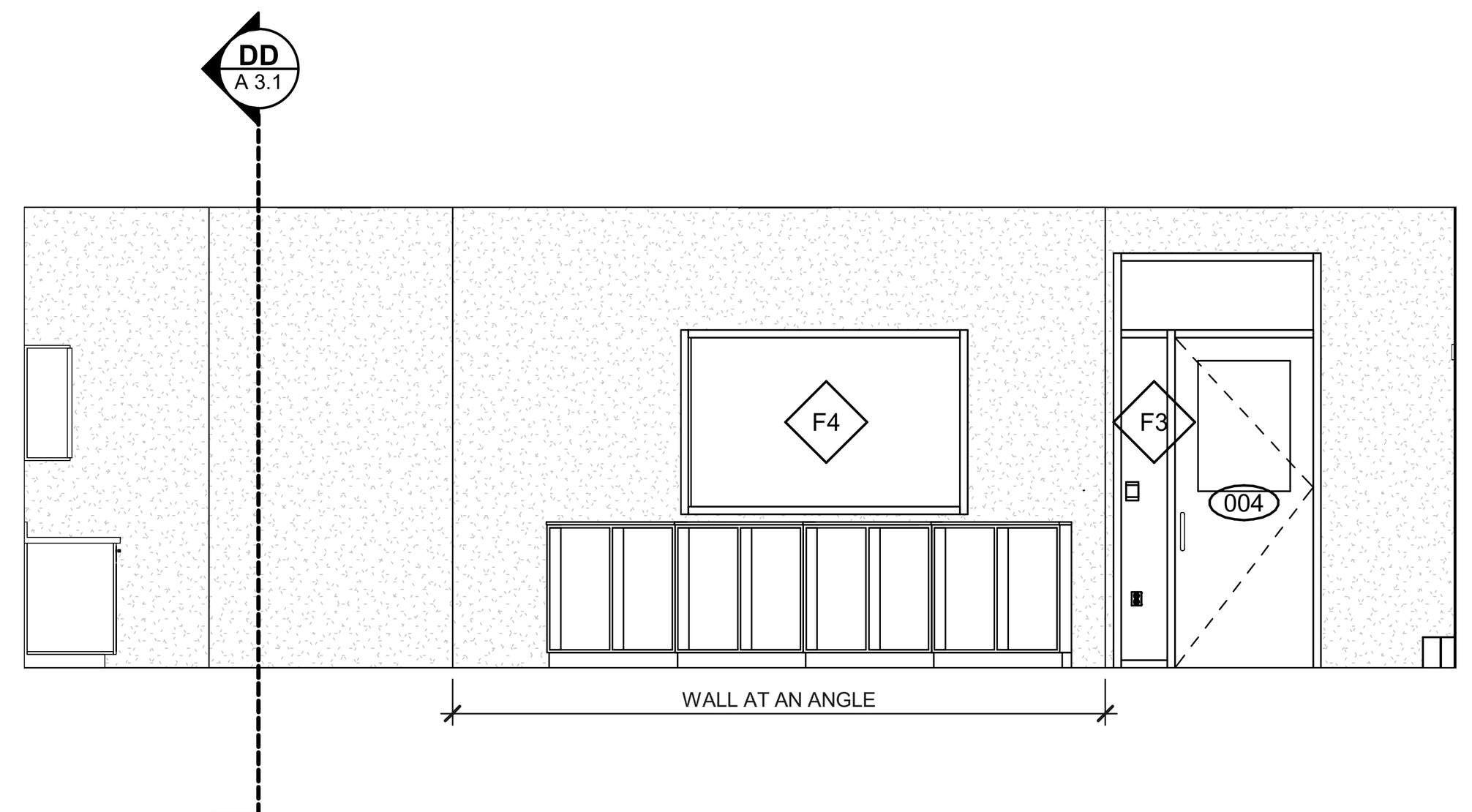

11 004 SOUTH ELEVATION
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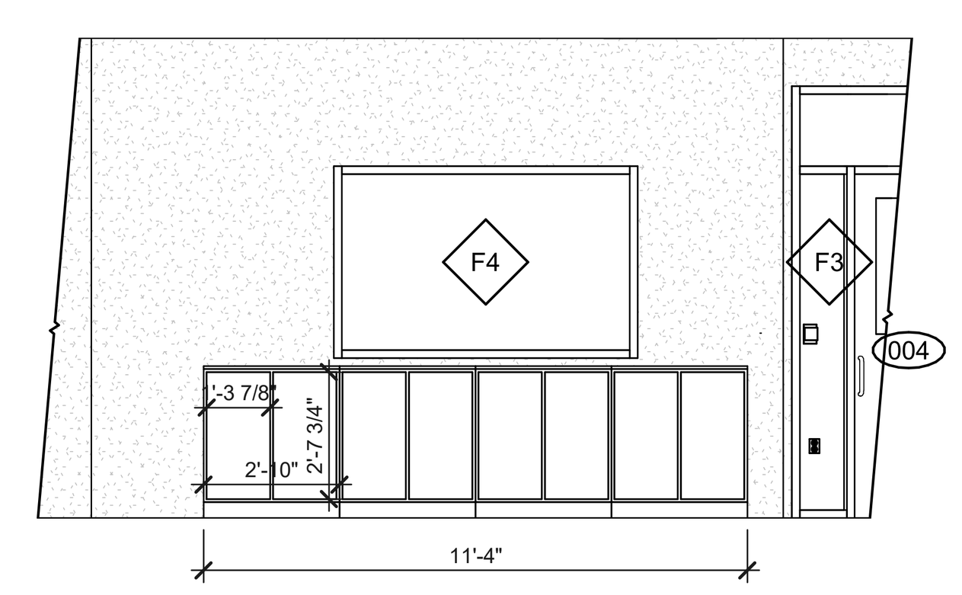

11A 004 PARTIAL SOUTH ELEV.
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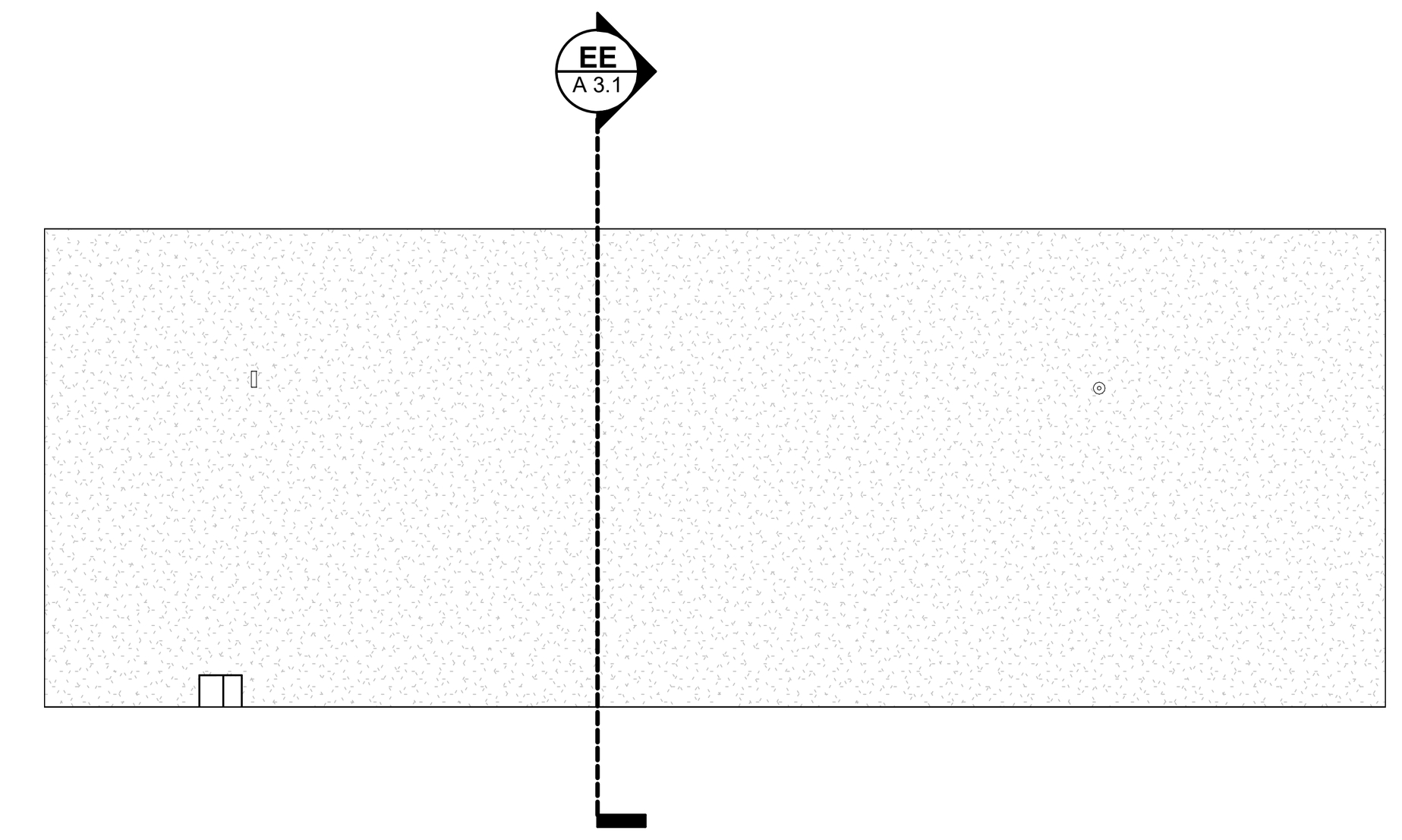

12 004 WEST ELEVATION
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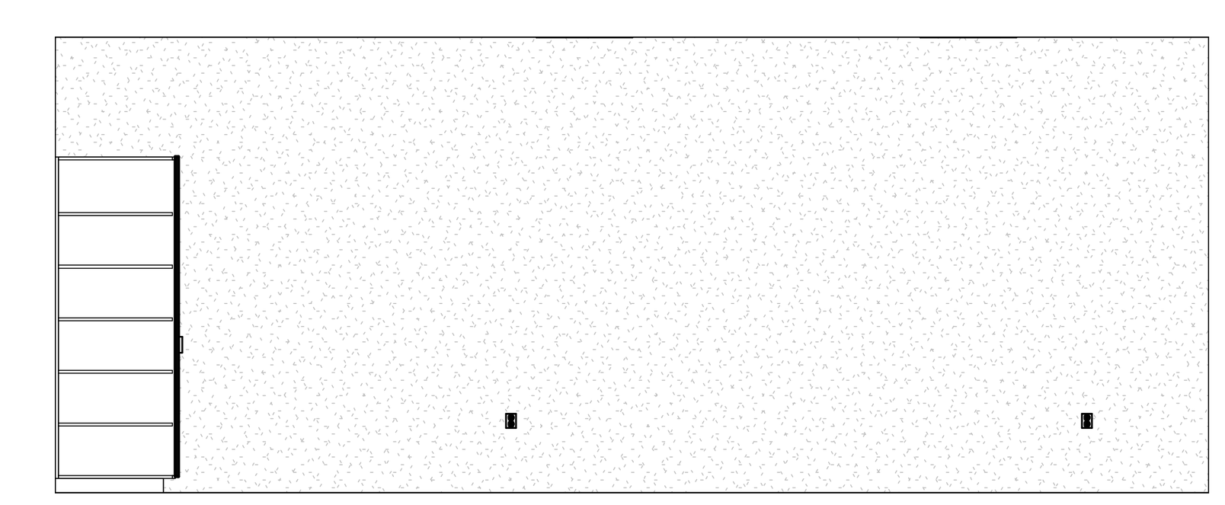

13 006 NORHT ELEVATION
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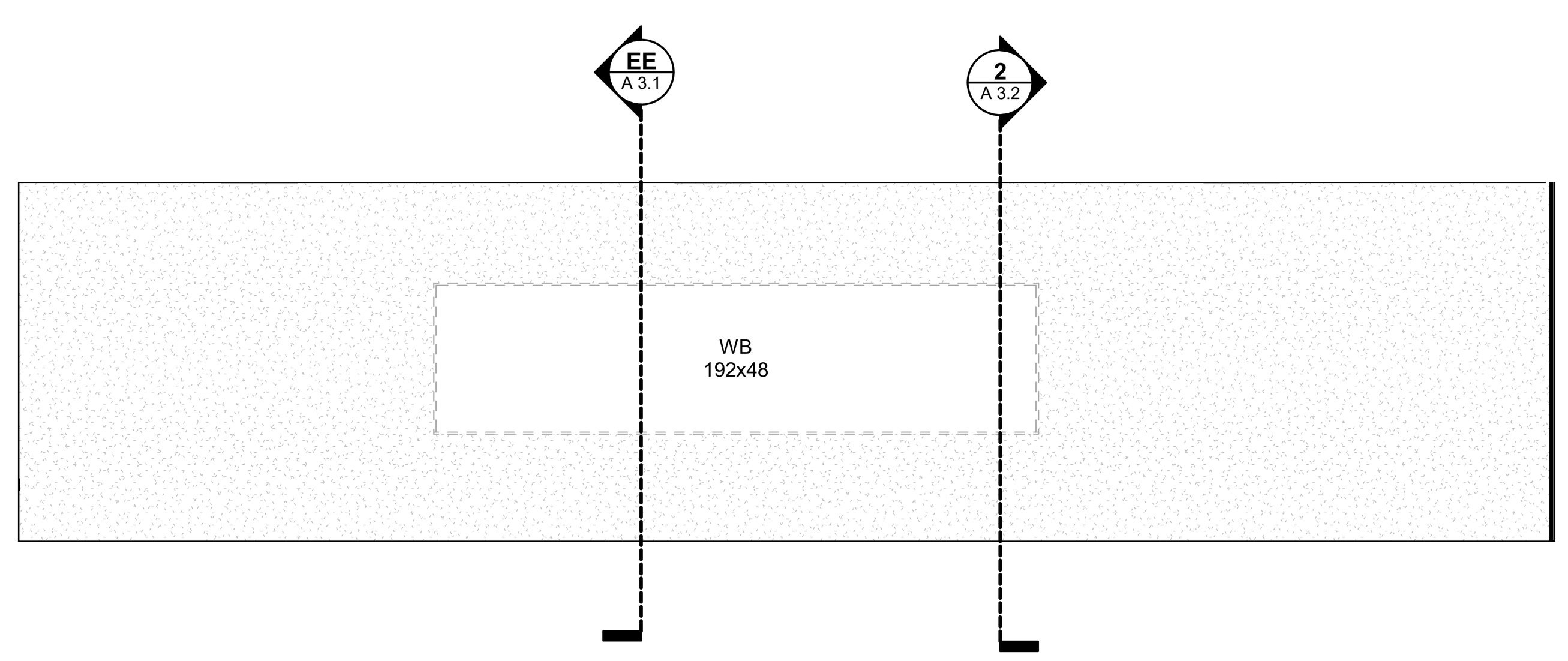

14 006 EAST ELEVATION
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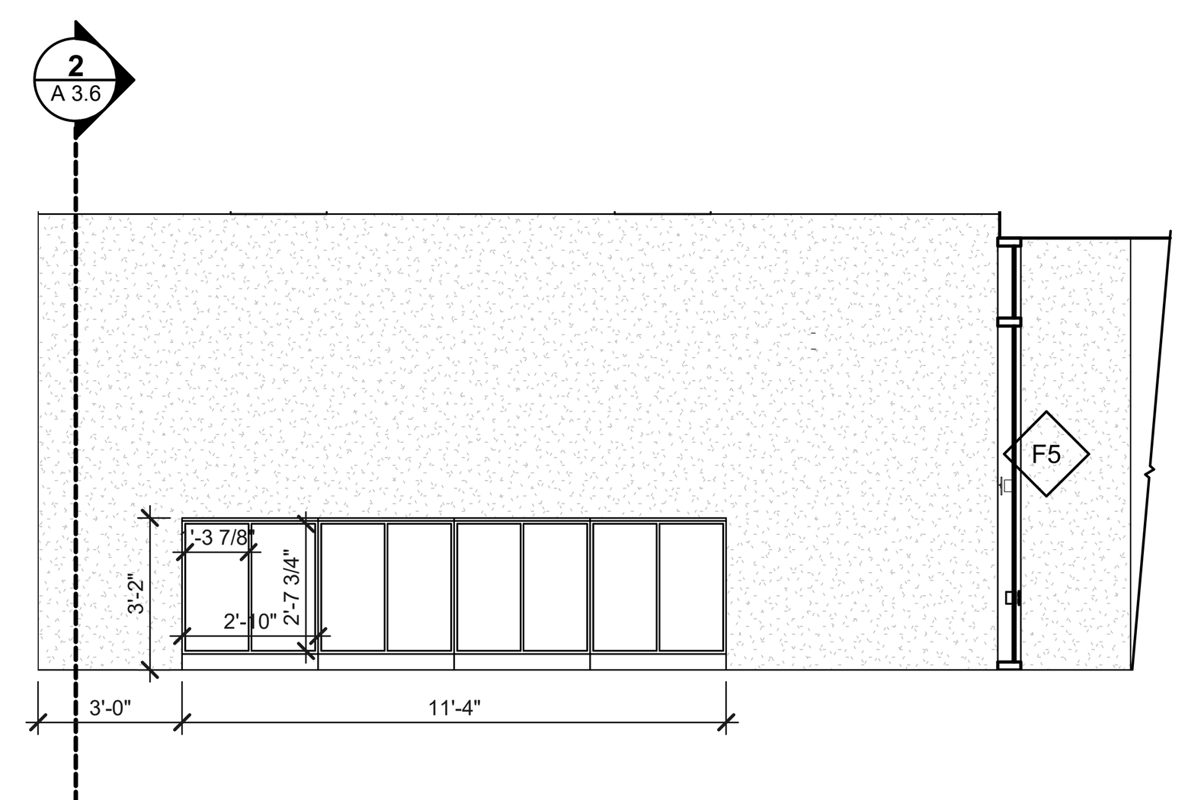

15 006 SOUTH ELEVATION
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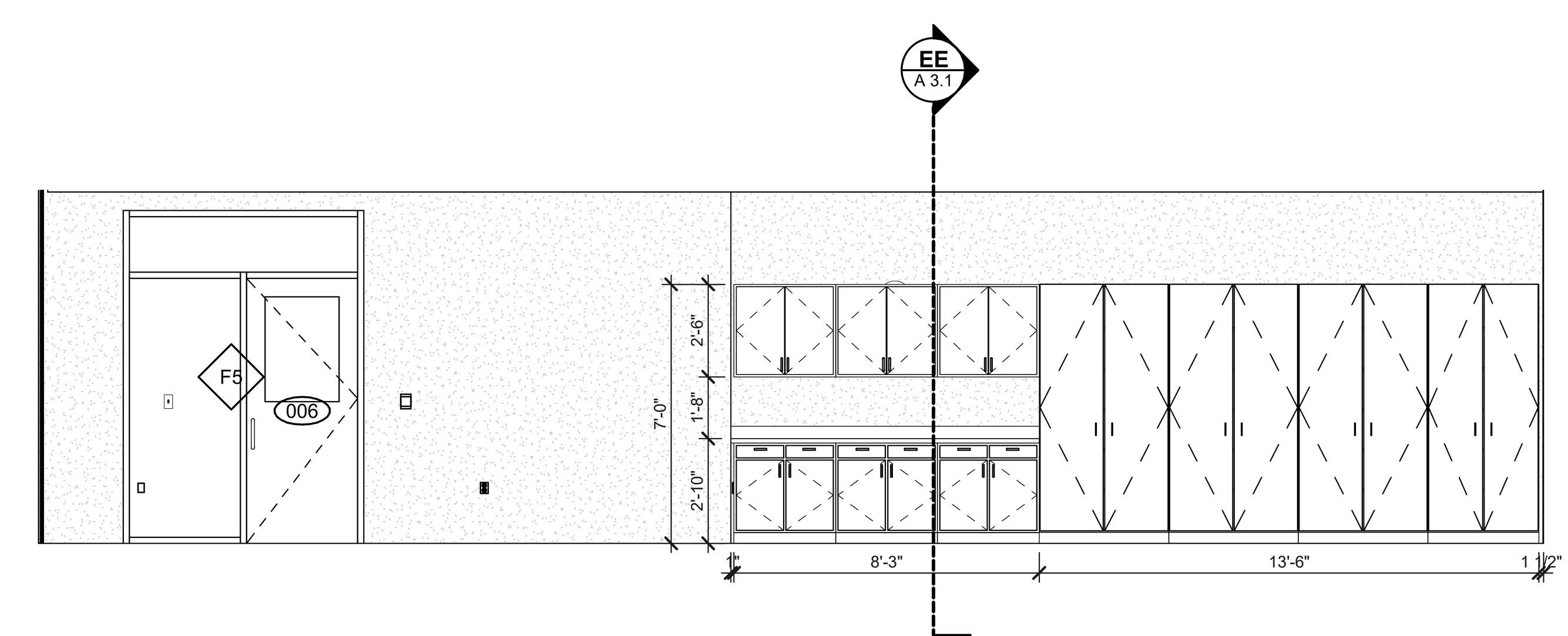

16 006 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. REFER TO SHEET A 4.2 FOR TOILET ACCESSORY SCHEDULE.

B. REFER TO SHEET A4.2 FOR TYPICAL MOUNTING HEIGHTS OF TOILET ACCESSORIES, INTERIOR SIGNAGE, AND SWITCHES.

C. REFER TO SHEET FF 0.1 FOR FINISH MATERIALS SCHEDULE.

D. PROVIDE MIN. 1" FILLER AT BASE AND WALL CABINETS.

E. PROVIDE FINISHED PANELS ON ALL EXPOSED ENDS AND BACKS OF BASE AND WALL CABINETS.

F. ALL COUNTERS SHOULD BE 1" OVER BASE CABINET WITH A RADIUS CORNER AND EDGE (EXCEPT AT EQUIP. LOCATIONS). INSTALL 4" BACKSPLASH ON ALL 3 SIDES WITH WALL.

G. CAULK ALL CABINETS AND COUNTERS AT WALL JOINTS.

H. INSTALL SOLID WOOD BLOCKING IN WALLS BEHIND WALL-MOUNTED INTEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC.

I. G.C. IS RESPONSIBLE TO PROVIDE WOOD BLOCKING AT WALL MOUNTED T.V. LOCATIONS. REFER TO ELECTRICAL SHEETS FOR LOCATIONS.

J. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL RECEPTACLES AND TECHNOLOGY ROUGH-INS IF NOT LOCATED ON INTERIOR ELEVATION. DEVICES SHOULD BE GANG TOGETHER WHENEVER POSSIBLE.

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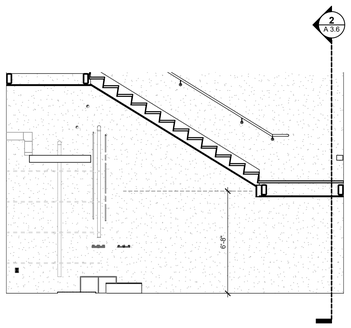
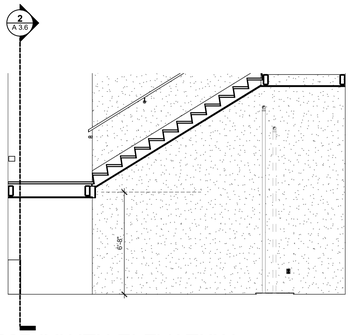
INTERIOR ELEVATIONS

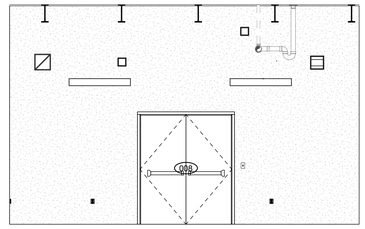
Sheet No.
A 2.3



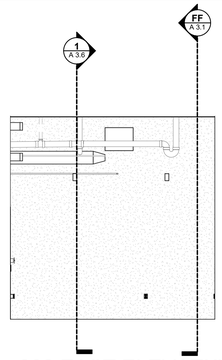
1 007 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



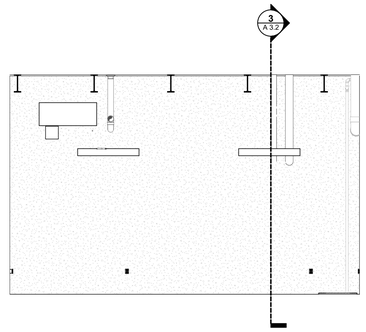
2 007 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



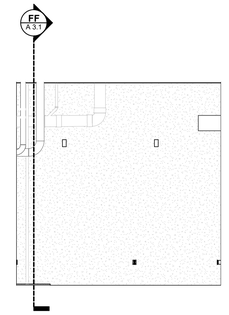
3 008 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



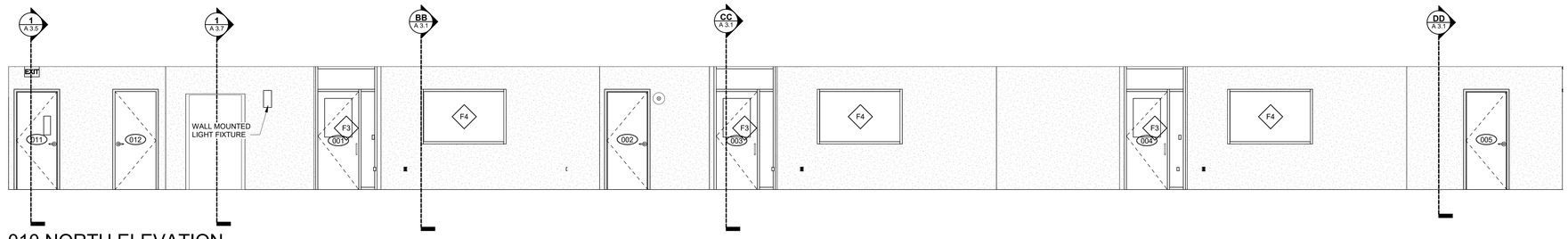
4 008 EAST ELEVATION
SCALE: 1/4" = 1'-0"



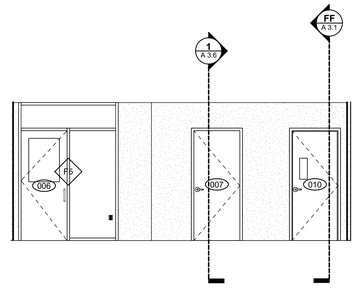
5 008 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



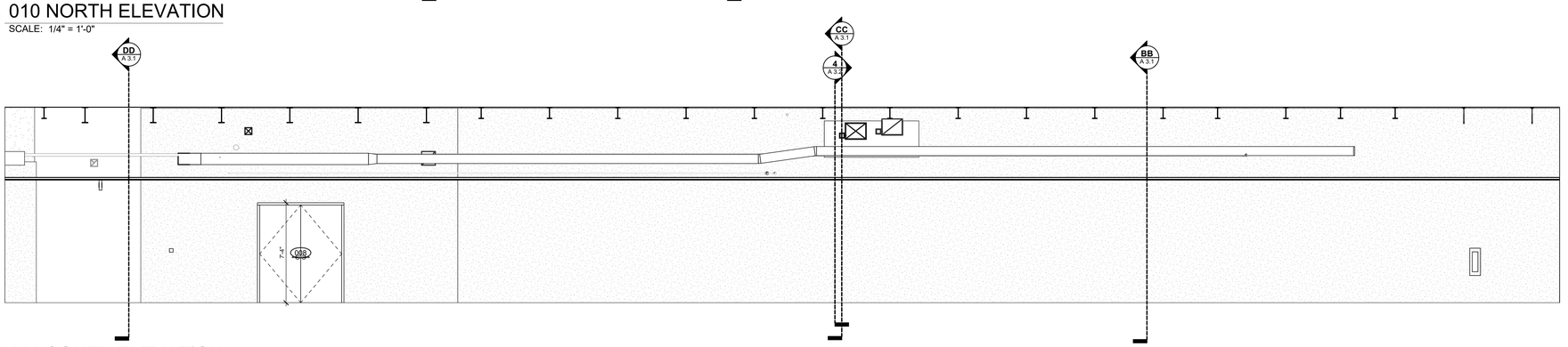
6 008 WEST ELEVATION
SCALE: 1/4" = 1'-0"



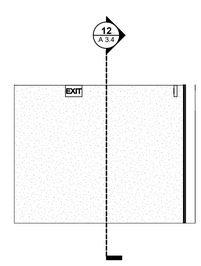
7 010 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 010 EAST ELEVATION
SCALE: 1/4" = 1'-0"



9 010 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



10 010 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. REFER TO SHEET A 4.2 FOR TOILET ACCESSORY SCHEDULE.

B. REFER TO SHEET A4.2 FOR TYPICAL MOUNTING HEIGHTS OF TOILET ACCESSORIES, INTERIOR SIGNAGE, AND SWITCHES.

C. REFER TO SHEET FF 0.1 FOR FINISH MATERIALS SCHEDULE.

D. PROVIDE MIN. 1" FILLER AT BASE AND WALL CABINETS.

E. PROVIDE FINISHED PANELS ON ALL EXPOSED ENDS AND BACKS OF BASE AND WALL CABINETS.

F. ALL COUNTERS SHOULD BE 1" OVER BASE CABINET WITH A RADIUS CORNER AND EDGE (EXCEPT AT EQUIP. LOCATIONS). INSTALL 4" BACKSPLASH ON ALL 3 SIDES WITH WALL.

G. CAULK ALL CABINETS AND COUNTERS AT WALL JOINTS.

H. INSTALL SOLID WOOD BLOCKING IN WALLS BEHIND WALL-MOUNTED INTEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC.

I. G.C. IS RESPONSIBLE TO PROVIDE WOOD BLOCKING AT WALL MOUNTED T.V. LOCATIONS. REFER TO ELECTRICAL SHEETS FOR LOCATIONS.

J. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL RECEPTACLES AND TECHNOLOGY ROUGH-INS IF NOT LOCATED ON INTERIOR ELEVATION. DEVICES SHOULD BE GANG TOGETHER WHENEVER POSSIBLE.

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RUETSCHLE

STATE OF OHIO
MARK S. RUETSCHLE
9837
REGISTERED ARCHITECT
MARK S. RUETSCHLE LICENSE # 9837
EXPIRATION DATE: 12/31/2019

Issued:
May 20, 2019
Package 3A - Masonry & Grade Beam Package

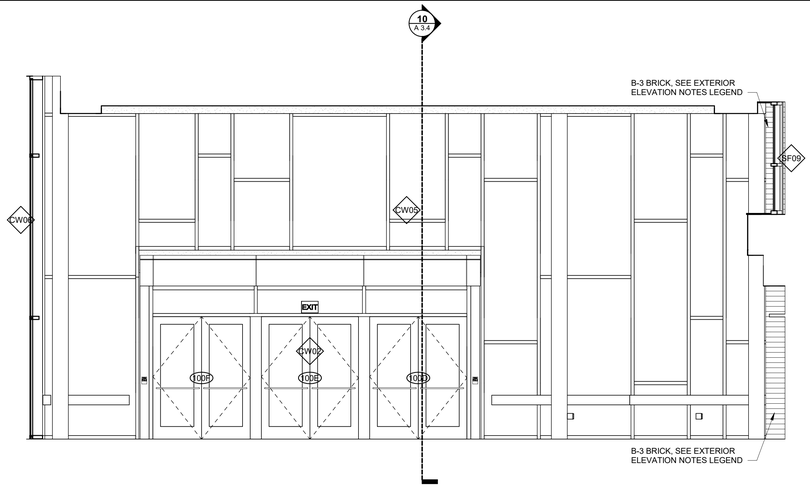
Revisions:

NEW ADDITION TO:
KETTERING SEVENTH-DAY ADVENTIST CHURCH
3939 Stonebridge Rd., Kettering, Ohio

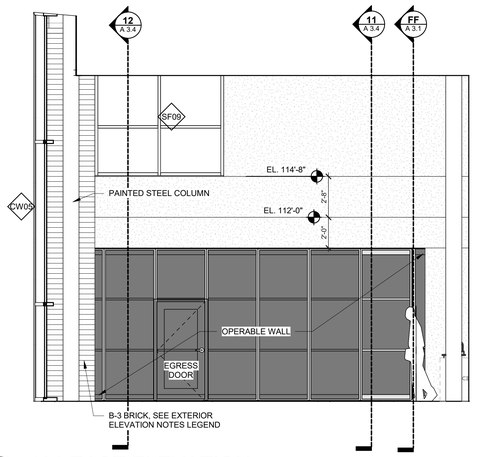
Comm. No.
61716

INTERIOR ELEVATIONS

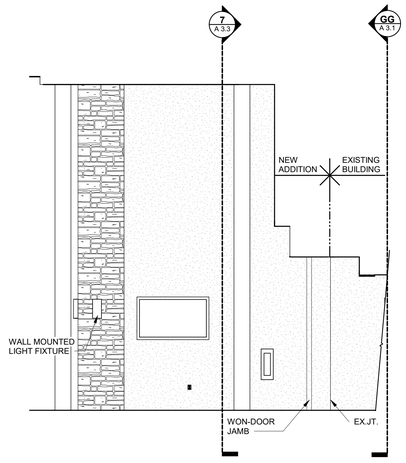
Sheet No.
A 2.4



1 101 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 101 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2B 101 PARTIAL EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. REFER TO SHEET A 4.2 FOR TOILET ACCESSORY SCHEDULE.

B. REFER TO SHEET A4.2 FOR TYPICAL MOUNTING HEIGHTS OF TOILET ACCESSORIES, INTERIOR SIGNAGE, AND SWITCHES.

C. REFER TO SHEET FF 0.1 FOR FINISH MATERIALS SCHEDULE.

D. PROVIDE MIN. 1" FILLER AT BASE AND WALL CABINETS.

E. PROVIDE FINISHED PANELS ON ALL EXPOSED ENDS AND BACKS OF BASE AND WALL CABINETS.

F. ALL COUNTERS SHOULD BE 1" OVER BASE CABINET WITH A RADIUS CORNER AND EDGE (EXCEPT AT EQUIP. LOCATIONS). INSTALL 4" BACKSPLASH ON ALL 3 SIDES WITH WALL.

G. CAULK ALL CABINETS AND COUNTERS AT WALL JOINTS.

H. INSTALL SOLID WOOD BLOCKING IN WALLS BEHIND WALL-MOUNTED INTEMS INCLUDING CASEWORK, RAILINGS, TOILET ACCESSORIES, ETC.

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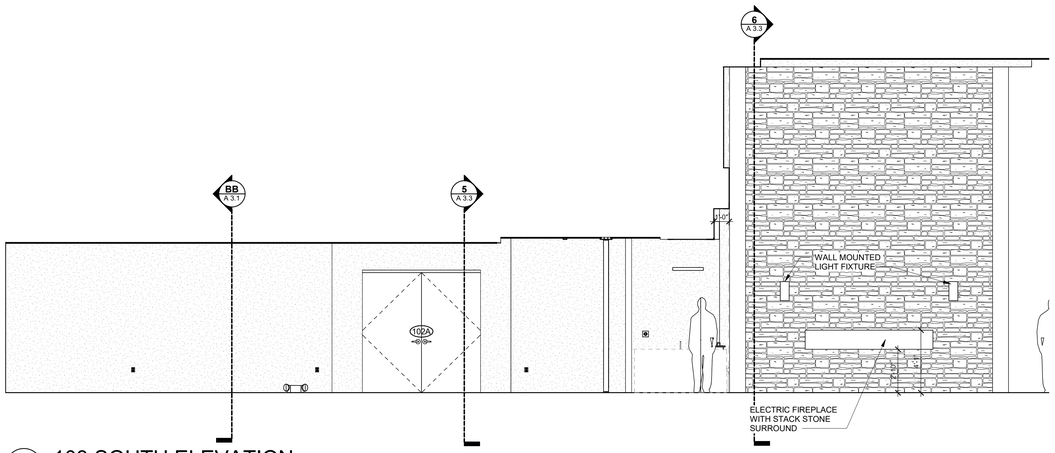
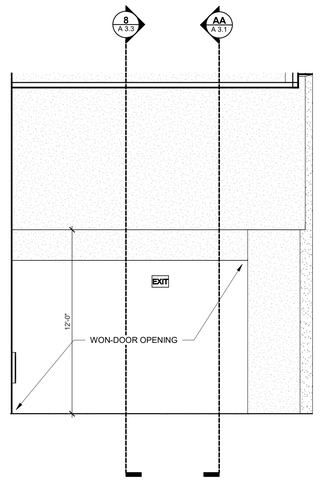


3 103 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 101 SOUTH ELEVATION
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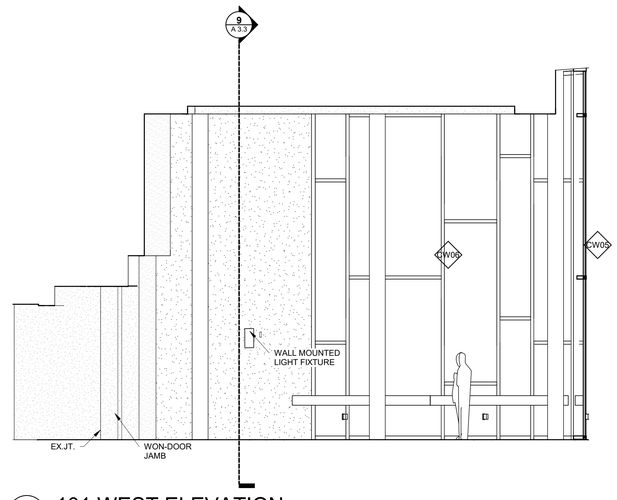

5 101 WEST ELEVATION
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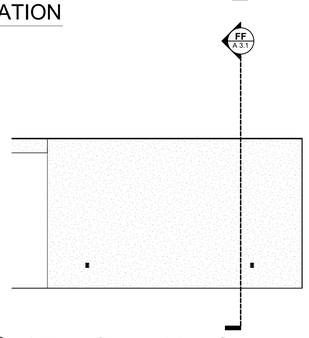
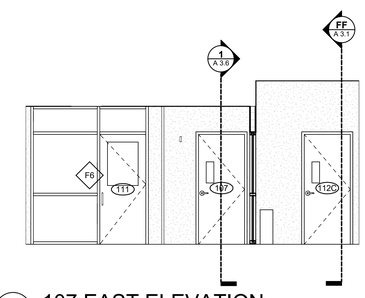
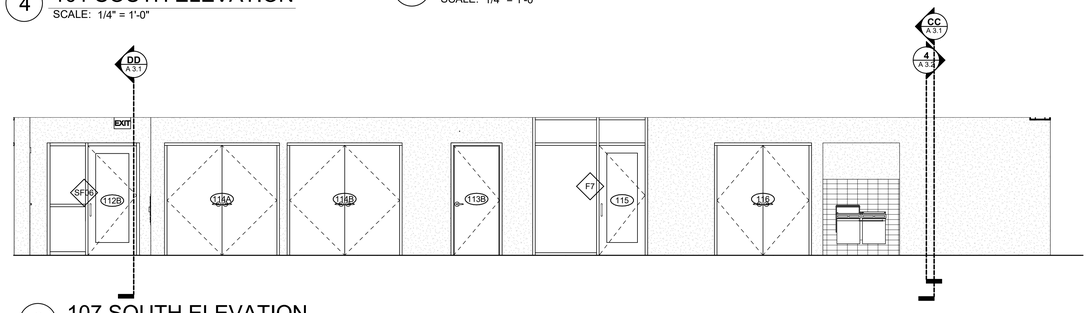


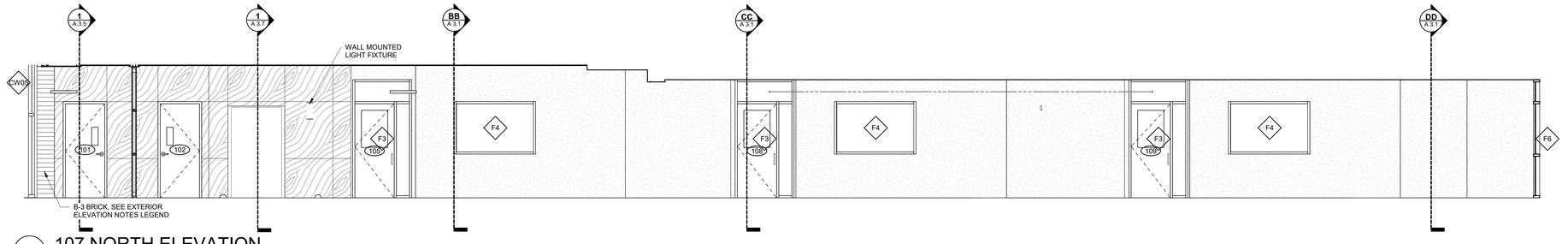
6 103 EAST ELEVATION
SCALE: 1/4" = 1'-0"



8 107 EAST ELEVATION
SCALE: 1/4" = 1'-0"



9 107 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



10 107 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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Sheet No.
A 2.5