

Addendum 01

DOCUMENT 00 9100

DATE: March 7th, 2023

PROJECT: Tipp City Government Building Infill Addition
280 South Garber Drive
Tipp City, OH 45371

PROJECT #: 22094.0

OWNER: City of Tipp City
Contact: Doug Arnold
280 South Garber Drive
Tipp City, OH 45371

ARCHITECT: Garmann Miller
38 South Lincoln Drive
P.O. Box 71
Minster, Ohio 45865

TO: Prospective Bidders

This addendum form is a part of the Contract Documents and modifies the Bidding Documents dated February 2, 2023 with amendments and additions noted below.

Acknowledge receipt of this Addendum on the Bid Form. Failure to do so may disqualify the Bidder.

This addendum consists of 02 pages, updated TOC, 02 specification sections, 05 re-issued drawing sheets.

FOR INFORMATION ONLY

1. Pre-bid meeting minutes and the pre-bid meeting sign-in sheet are attached.

CHANGES TO THE PROJECT MANUAL

1. Table of Contents: Replace in its entirety.
2. Section 00 41 13 Bid Form: Replace in its entirety.
3. Section 01 22 00 Unit Prices: Add section in its entirety.
4. Section 07 22 16 Roof Board Insulation:



- a. Delete Article 3.03 Metal Deck Preparation. (There is no acoustic deck on the project)
- b. Article 3.04 Installation of Vapor Barrier, Paragraph A. Install Vapor Retarder: Delete Subparagraph 1. At acoustical metal deck, install acoustical insulation in roof deck flutes first. (There is no acoustic deck on the project)
5. Section 07 54 19 PVC Thermoplastic Single-Ply Roofing:
 - a. Article 2.04 Deck Sheathing and Cover Boards, Paragraph A. Deck Sheathing and Cover Board: Change thickness to 1/2 inch thick.
 - b. Article 2.06 Accessories: Update Paragraph 3:
 - i. Roof Walkway Pads: Install as indicated on drawings and per manufacturer's recommendations
 - 1) Pressure-Sensitive Walkway Pads (with Factory-Applied Tape on the underside of the walkway) adhere to the membrane surface with manufacturer's recommended adhesive.

CHANGES TO THE DRAWINGS

1. Drawing Sheet AD5.1 Roof Demolition Plan / Details: Detail 1 – Demolition Roof Plan: Revise detail as shown.
2. Drawing Sheet A5.1 Roof Plan: Roof Plan and Roof Details revise as shown.
3. Drawing Sheet FP1.1 FIRE PROTECTION PLAN: Detail 1 FIRE PROTECTION PLAN - MEZZANINE: Revised the drawings to show the mezzanine level of the fire suppression system.
4. Drawing Sheet M2.1 First Floor Mechanical Plan: Add keynotes 7 and 8 as shown.
5. Drawing Sheet E5.1 Roof Electrical Plan: Detail 1 Roof Electrical Plan: Revised the drawing to show the modifications needed to the lightning protection system on the existing portion of the building.

ATTACHMENTS

The following attachments are included and are part of this addendum:

Pre-bid meeting minutes and the pre-bid meeting sign-in sheet.

Specification Sections: Table of Contents, 00 41 13, and 01 22 00

Drawing Sheets AD5.1, A5.1, FP1.1, M2.1, E5.1.

END OF ADDENDUM



Pre-bid meeting

Project name	Tipp City Gov't Center Infill Addition – Renovation Project	GM project no.	22094.0
Meeting date	03/02/2023	Meeting location	Tipp City Gov't Center

Notes from meeting are added in red below.

Outline

1. Attendees: Sign in sheet
2. Introductions
3. Project overview
 - a. Infill addition
 - b. Roof replacement
 - i. Modified bitumen roof and EPDM roof / Both have one roof system with steel deck
 - ii. No tear off should be needed
 - iii. Will ask for unit cost if any wet insulation is found
 - iv. To be clarified in the addendum
 - c. Window replacement
4. Bidding
 - a. Date: **March 23, 2023 at 11:00.00 AM**
 - b. Location:
 - Tipp City Government Center
 - 260 S Garber Drive
 - Tipp City, Ohio 45371
 - a. Use the bid form provided
 - b. Plans have been submitted to **Miami County Dept. of Development** for review and permits, costs to be paid by owner.
5. Bid categories
 - a. Single-prime contractor
6. Alternates
 - a. None
7. Contingency amounts to be included in bid
 - a. General construction: \$90,000.00
8. Contracts will be administered by Garmann Miller
 - a. All questions and correspondence to go through Garmann Miller
 - b. All RFIs to go through Garmann Miller
 - c. Pay applications to go to Garmann Miller



- d. Garmann Miller will schedule a preconstruction meeting with the contractor after the notice of award
9. Schedule
 - a. Tentative award date – April 3rd City Council meeting
 - b. Start of construction – April 15th, 2023
 - c. Milestone dates – none at this time
 - d. Completion date – **March 25, 2024**
 - i. Liquidated Damages – yes, refer to Article 8 in the supplementary conditions
10. General conditions
 - a. Waste Removal: Each prime contractor
 - b. General Contractor
 - i. Responsible for construction schedule and general supervision
 - ii. Submit preliminary schedule 10 days after notice to proceed
 - iii. Responsible for scheduling and administering job meetings; prepare agenda, responsible for meeting minutes and distributing copies
 - c. Responsible for field office
 - d. Responsible for telephone service/fax to field office.
 - e. Responsible for sanitary facilities
 - f. Barriers
 - g. Fencing
 - h. Exterior and interior enclosures
 - i. Project sign – not required
11. Temporary electricity
 - a. Electrical contractor to provide temporary power, temporary lighting, temporary service to general contractor job trailer. Can connect to existing building for temporary power.
 - b. Cost of electricity: by Owner
12. Temporary heat / ventilation / cooling / dehumidification, as required
 - a. Prior to building enclosure & after building enclosure:
 - i. Method by contractor
 - ii. Cost by contractor
13. Temporary water
 - a. Connect to existing building
14. Substitution request by 10 days prior to bid.
15. Correspondence
 - a. Correspondence to run through the Garmann Miller
 - b. Construction Administration – **Jason Fleming – jfleming@creategm.com**
 - c. Architectural/ General – **Andrew Huelsman – ahuelsman@creategm.com**
 - d. Mechanical/Plumbing/Fire Suppression – **Andrew Huelsman**



- e. Electrical – **Ashley Minton** – aminton@creategm.com
- f. Technology – **Doug Arnold** – arnoldd@tippcity.net

Questions

1. Can the interior renovation portion of the project be completed during normal working hours.

Answer: Yes, this work can be done in normal working hours. The occupants will be temporarily relocated. The exact timing on this work will need to be coordinated with the owner. Temporary barriers/dust containment, as necessary, is the responsibility of the contractor as indicated in the specifications.

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22094.00 Tipp City Government
Center Infill Addition
Bid Documents – Addendum 01

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**SECTION 00 41 13 - BID FORM
THE PROJECT AND THE PARTIES**

TO:

City of Tipp City
260 S Garber Drive
Tipp City, Ohio45371

FOR:

Project: 22094.00 Tipp City Government Center Infill Addition
Project Number: 22094.00
260 S Garber Drive
Tipp City, Ohio45371

DATE: _____ (Bidder to enter date)

SUBMITTED BY:

Bidder's Full Name: _____

Address: _____

City, State, Zip: _____

Telephone: _____

Fax No.: _____

E-mail: _____

OFFER

Having examined the Place of The Work and all matters referred to in the Instructions to Bidders and the Contract Documents prepared by Garmann/Miller & Associates Inc. for the above mentioned project, we, the undersigned, hereby offer to enter into a Contract to perform the Work for the Sum of:

Item 1 - Contract A, General Construction - Base Bid:

_____ dollars

All Cash and Contingency Allowances described in Section 01 21 00 are included in the Bid Sum.

We have included the Bid Bond or security deposit as required by the Advertisement, Notice to Bidders, Instructions to Bidders.

This is a Tax Exempt Project.

Builders Risk Insurance is to be furnished by the Owner.

State of Ohio Prevailing Wage Rates, have been included.

ACCEPTANCE

This offer shall be open to acceptance and is irrevocable for sixty days from the bid closing date.

If this bid is accepted by Owner within the time period stated above, we will:

Execute the Agreement within ten (10) days of receipt of Notice of Award.

Commence work within ten (10) days after written Notice to Proceed of this bid.

If this bid is accepted within the time stated, and we fail to commence the Work or we fail to provide the required Bond(s), the security deposit shall be forfeited as damages to Owner by reason of our failure, limited in amount to the lesser of the face value of the security deposit or the difference between this bid and the bid upon which a Contract is signed.

In the event our bid is not accepted within the time stated above, the required security deposit shall be returned to the undersigned, in accordance with the provisions of the Instructions to Bidders; unless a mutually satisfactory arrangement is made for its retention and validity for an extended period of time.

CONTRACT TIME

Owners desired start date: April 15, 2023

Owners desired completion date: March 15, 2024

If this Bid is accepted, we will:

Complete the Work by March 15, 2024 or at an earlier date of _____ (Bidder to enter completion date or time frame prior to completion date listed.)

UNIT PRICES

The following are Unit Prices for specific portions of the Work as listed. The following is the list of Unit Prices:

The Owner, Architect, and Contractor must agree to all Unit Prices prior to the award of contract. Lack of agreement of Unit Prices is grounds for rejection of bid.

Roof insulation - Provide a price per square foot to cut out, remove existing roof insulation and replace with new roof insulation in the event that saturated insulation is found during construction.

\$ _____ Per Square Foot

ADDENDA

The following Addenda have been received. The modifications to the Bid Documents noted below have been considered and all costs are included in the Bid Sum.

Addendum # _____ Dated _____.

BID FORM SUPPLEMENTS

Bid Bond

Noncollusion Affidavit

Contractor's Affidavit

BID FORM SIGNATURE(S)

(Bidder - print the full name of your firm)
was hereunto affixed in the presence of:

(Authorized signing officer)

(Authorized signing officer, Title)

SEALED SUBMISSION:

Bid is to be submitted in Duplicate.

Bid is to be submitted in a sealed envelope containing bid and bid form supplements and addressed as follows:

Prime Contract Bid for:
City of Tipp City
260 S Garber Drive
Tipp City, Ohio 45371

END OF BID FORM

**SECTION 01 22 00
UNIT PRICES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. List of unit prices, for use in preparing Bids.
- B. Measurement and payment criteria applicable to Work performed under a unit price payment method.
- C. Defect assessment and non-payment for rejected work.

1.02 COSTS INCLUDED

- A. Unit Prices included on the Bid Form shall include full compensation for all required labor, products, tools, equipment, plant, transportation, services and incidentals; erection, application or installation of an item of the Work; overhead and profit.

1.03 MEASUREMENT OF QUANTITIES

- A. Take all measurements and compute quantities. Measurements and quantities will be verified by Owner's representatives.
- B. Assist by providing necessary equipment, workers, and survey personnel as required.
- C. Measurement by Volume: Measured by cubic dimension using mean length, width and height or thickness.
- D. Measurement by Area: Measured by square dimension using mean length and width or radius.

1.04 PAYMENT

- A. Payment for Work governed by unit prices will be made on the basis of the actual measurements and quantities of Work that is incorporated in or made necessary by the Work and accepted by the Architect, multiplied by the unit price.

1.05 SCHEDULE OF UNIT PRICES

- A. The Owner, Architect and Contractor must agree to all unit prices prior to the award of contract. A lack of agreement of unit prices is grounds for rejection of bids.
- B. Saturated Roof insulation encountered during construction
 - 1. It is the intent of the project to overlay the existing roof with a new roof coverboard and membrane. In the event that saturated insulation is found during construction, provide a price per square foot to cut out, remove existing roof insulation and replace with new roof insulation.
 - a. Provide cost per square foot.

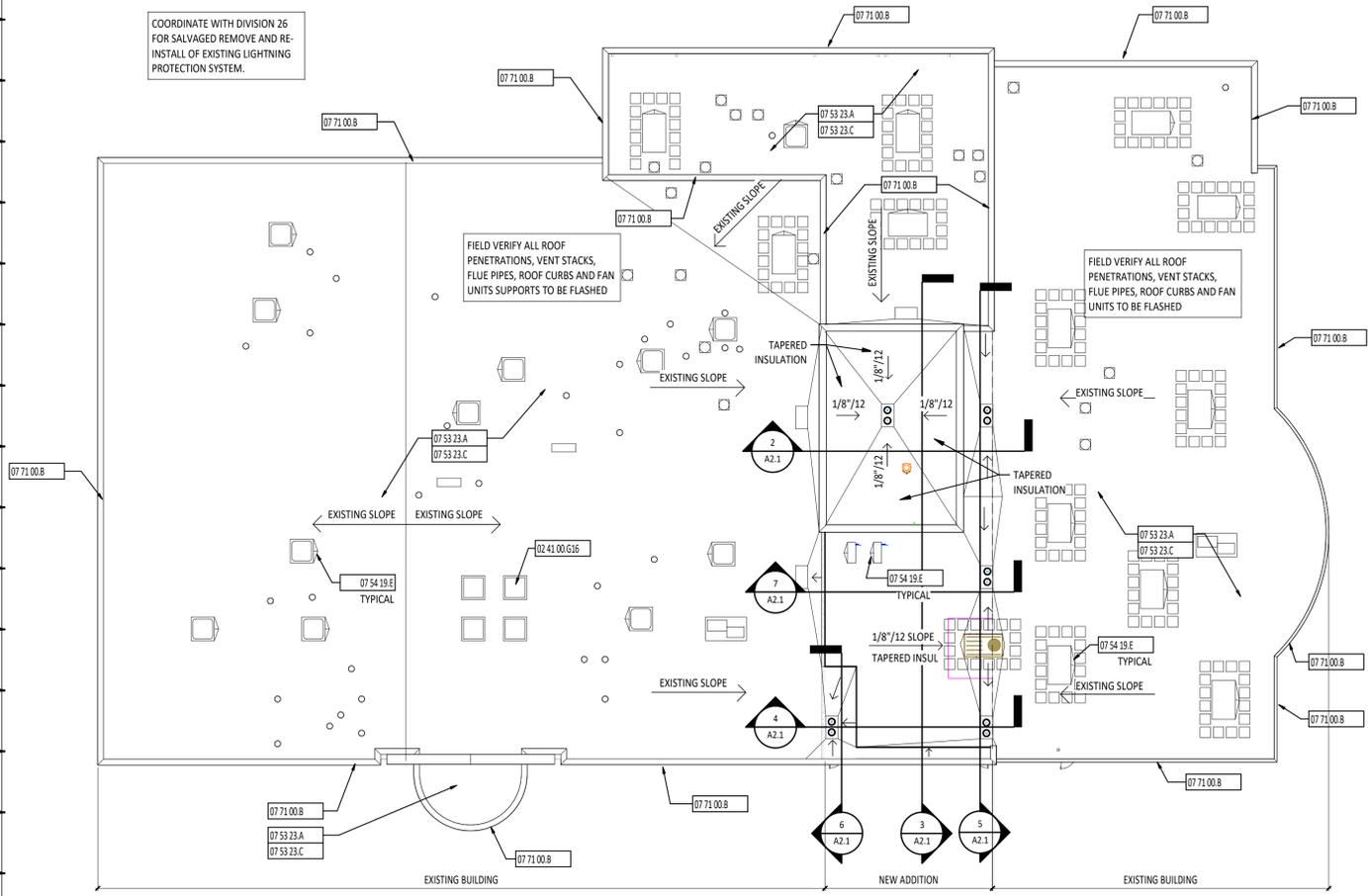
PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

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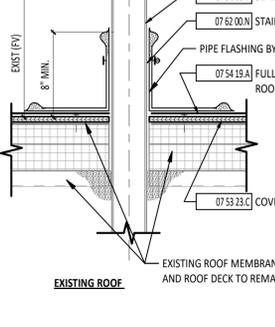
COORDINATE WITH DIVISION 26 FOR SALVAGED REMOVE AND RE-INSTALL OF EXISTING LIGHTNING PROTECTION SYSTEM.



NOTES: MEMBRANE ROOF MANUFACTURER AND DIVISION 22 TO COORDINATE LOCATION OF ROOF OPENING AND SIZE.

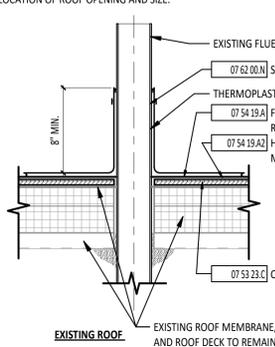
ATTACH FLASHING PER ROOFING MANUFACTURER'S REQUIREMENTS SEAL. FIELD VERIFY FIELD CONDITIONS.

EXISTING PIPE VENT TO REMAIN.



2 VENT STACK PENETRATION DETAIL 1 1/2" = 1'-0"

NOTES: MEMBRANE ROOF MANUFACTURER AND DIVISION 22 TO COORDINATE LOCATION OF ROOF OPENING AND SIZE.

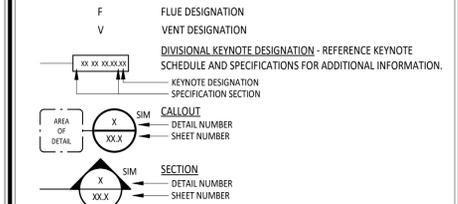


3 FLUE PENETRATION DETAIL 1 1/2" = 1'-0"

ROOF PLAN GENERAL NOTES

- A PROVIDE FLASHING IN ACCORDANCE WITH THE SMACNA ARCHITECTURAL SHEET METAL MANUAL LATEST EDITION.
B REFER TO MANUFACTURER FOR ROOF INSTALLATION DETAILS.
C ALL WOOD BLOCKING AT ROOF PENETRATIONS SHALL BE PRESERVATIVE TREATED.
E PROVIDE CRICKETS WITH TAPERED FLASHING AT MECHANICAL OPENINGS.

ROOF PLAN SYMBOLS LEGEND

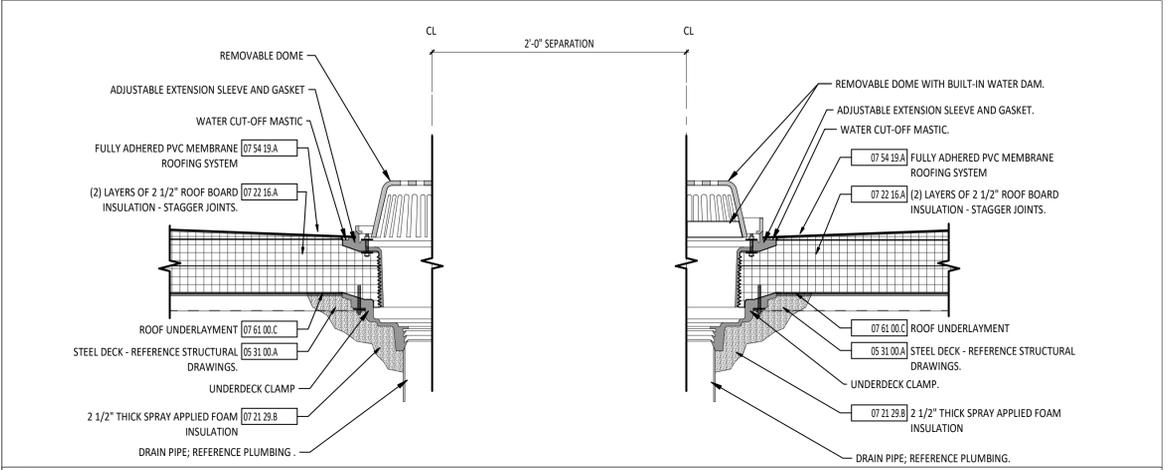


ROOF PLAN MATERIAL PATTERNS LEGEND



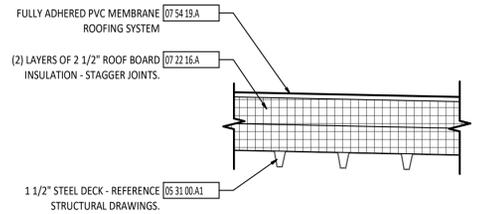
Table with 2 columns: # and KEYNOTE DESCRIPTION. Lists various construction items and their specifications.

1 ROOF PLAN 1/16" = 1'-0"

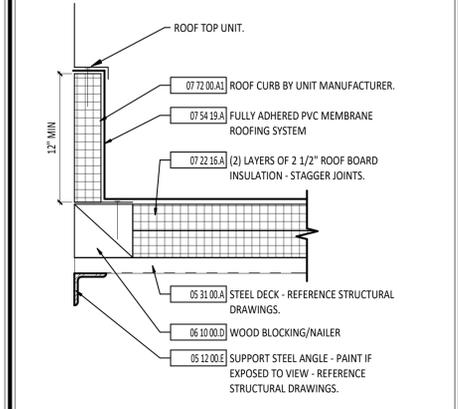


4 ROOF DRAIN AND OVERFLOW DRAIN DETAIL 1 1/2" = 1'-0"

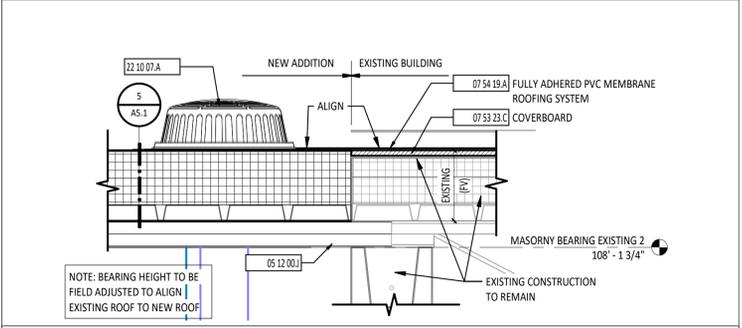
Table for Roof R-Value and Total R-Value. Lists components like air film, membrane, insulation, and deck with their respective R-values.



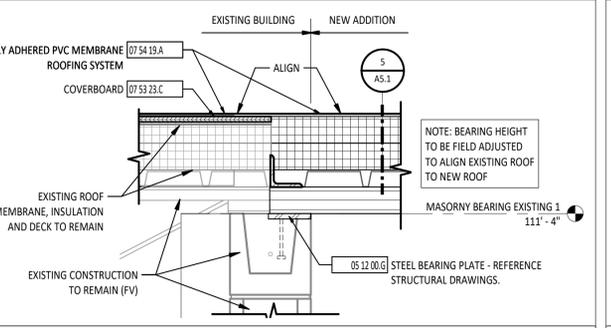
5 ROOF ASSEMBLY 1 1/2" = 1'-0"



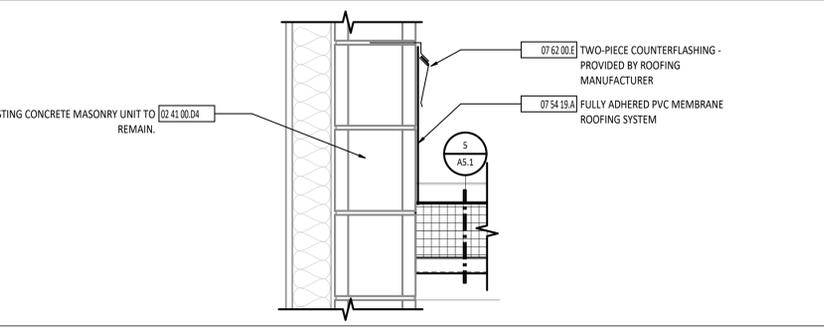
10 CURB SECTION DETAIL 1 1/2" = 1'-0"



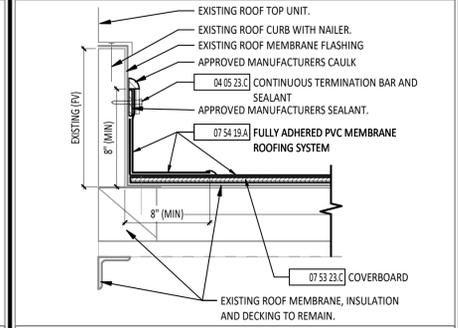
8 ROOF DETAIL 1 1/2" = 1'-0"



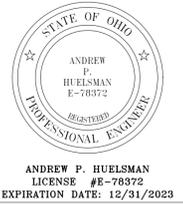
7 ROOF DETAIL 1 1/2" = 1'-0"



9 ROOF DETAIL 1 1/2" = 1'-0"



11 CURB SECTION DETAIL 1 1/2" = 1'-0"



TIPP CITY GOVERNMENT BUILDING INFILL

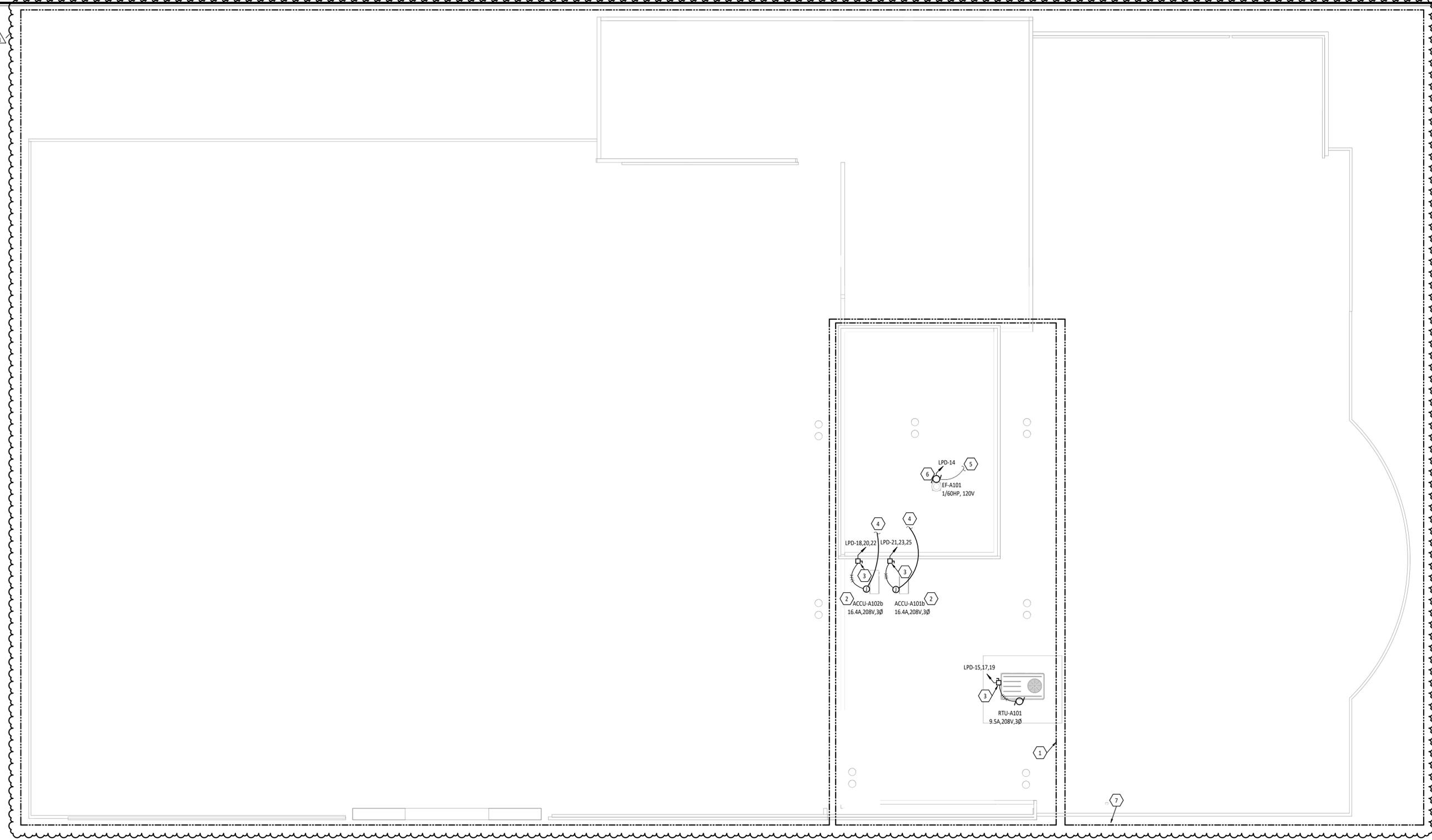
ISSUANCES/REVISIONS

Table with 3 columns: BID DOCUMENTS, ADDENDUM #01, and dates.

Table with 3 columns: PROJECT NUMBER (22094.00), DRAWN BY (MDB), CHECKED BY (LKL).

SHEET TITLE: ROOF PLAN

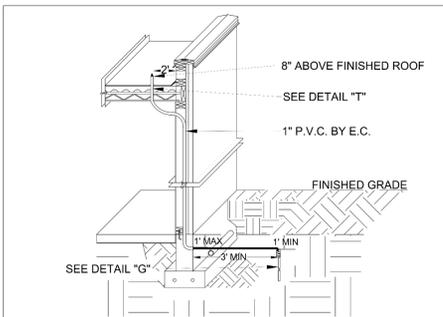
SHEET NUMBER: A5.1



1
 ES.1
ROOF ELECTRICAL PLAN
 1/8" = 1'-0"

- POWER GENERAL NOTES**
- A WHERE DEVICES ARE SHOWN UNDER CABINETS, CASEWORK, FURNITURE AND THE LIKE; REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT PLACEMENT SO THAT DEVICES SHALL BE LOCATED WITHIN KNEE SPACE OR OPEN AREA.
 - B CASEWORK INSTALLER SHALL CUT HOLES IN CASEWORK FOR RECEPTACLES, DEVICES, ETC., UNLESS NOTED OTHERWISE.
 - C ALL CONDUCTORS FOR EQUIPMENT CONNECTIONS SHALL BE COPPER UNLESS NOTED OTHERWISE AND APPROVED BY THE MANUFACTURER.
 - D COORDINATE WITH ALL OTHER TRADES TO MAINTAIN ALL REQUIRED CLEARANCES ABOUT ELECTRICAL EQUIPMENT WITH ACCORDANCE TO THE NATIONAL ELECTRICAL CODE.
 - E REFER TO MECHANICAL, PLUMBING, AND OTHER APPLICABLE DRAWINGS FOR EXACT EQUIPMENT LOCATIONS.
 - F MAINTAIN ALL FIRE RATINGS WHERE CONDUIT PENETRATES WALL, CEILINGS, AND FLOORS WITH ONLY U.L. LISTED FIRE ASSEMBLIES.
 - G ALL MOUNTING HEIGHTS REFER TO BOTTOM OF BOX, UNO.

#	KEYNOTE DESCRIPTION
1	EXISTING LIGHTNING PROTECTION SYSTEM SHALL BE MODIFIED AND EXTENDED TO ADDITION. DESIGN AND INSTALLATION TO BE PROVIDED BY MAXWELL LIGHTNING SYSTEMS. REFER TO DETAIL 2/THIS SHEET FOR DOWNLEAD RACEWAY REQUIREMENTS. COORDINATE QUANTITY OF DOWNLEADS WITH SYSTEM INSTALLER.
2	MINI SPLIT A/C UNIT FOR MAIN CONTROL/EQUIPMENT ROOM. PROVIDE NECESSARY CONNECTIONS REQUIRED FOR UNIT. EXTEND CONTROL WIRING TO FAN COIL UNIT LOCATED IN MEZZANINE A201. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR.
3	PROVIDE 30A NONFUSED HEAVY DUTY DISCONNECT. PROVIDE A NEMA 3R ENCLOSURE FOR OUTDOOR LOCATIONS.
4	REFER TO DETAIL 3/ES.2 FOR CIRCUIT CONTINUATION.
5	REFER TO DETAIL 1/ES.1 FOR CIRCUIT CONTINUATION.
6	ROOFTOP MOUNTED EXHAUST FAN PROVIDED WITH INTEGRAL DISCONNECT. EXHAUST FAN SHALL TURN 'ON/OFF' WITH ROOM LIGHTS IN STORAGE A102. PROVIDE NECESSARY ROOF PENETRATIONS, CONDUIT, WIRE AND ELECTRICAL CONNECTIONS. COORDINATE WORK WITH MECHANICAL CONTRACTOR.
7	EXISTING LIGHTNING PROTECTION SYSTEM SHALL BE DISCONNECTED, TEMPORARILY SUPPORTED AND RECONNECTED TO ALLOW FOR ROOF REPLACEMENT IN THE EXISTING PORTION OF THE BUILDING. LIGHTNING PROTECTION SYSTEM SHALL BE MODIFIED AND RE-CERTIFIED BY MAXWELL LIGHTNING SYSTEMS. COORDINATE WORK WITH LIGHTNING PROTECTION INSTALLER AND ROOFING CONTRACTOR.



2
 ES.1
 NTS
LIGHTNING PROTECTION DOWNLEAD DETAIL

ISSUANCES/REVISIONS

BID DOCUMENTS	02/02/2023
1 ADDENDUM #1	03/07/2023

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
22094.00	AM	CDS

ROOF ELECTRICAL PLAN

**SHEET NUMBER:
 ES.1**

FIRE PROTECTION GENERAL NOTES

- A PROVIDE A COMPLETE WET TYPE FIRE PROTECTION SYSTEM AS REQUIRED TO ACCOMMODATE THE FLOOR PLAN AND CEILING TYPES INCLUDING MAINS, BRANCHES, HEADS, VALVES, AND ACCESSORIES AS REQUIRED. THE SYSTEM SHALL BE INSTALLED ACCORDING TO DIVISION 21 SPECIFICATIONS AND RECOMMENDATIONS OF THE STATE BUILDING CODE, LOCAL FIRE DEPARTMENT, AND ALL FEDERAL, STATE, AND LOCAL AUTHORITIES, NFPA, AND FACTORY MUTUAL.
- B SPRINKLER PIPING SERVING EXPOSED AREAS SHALL BE ROUTED AS HIGH AS POSSIBLE. SPRINKLER PIPING SHALL BE ROUTED ABOVE THE BOTTOM CHORD OF THE ROOF TRUSSES. COORDINATE ROUTING OF SPRINKLER PIPING WITH BUILDING CONSTRUCTION, DUCTWORK, LIGHTING, AND ALL OTHER UTILITIES.
- C PROVIDE BOLT OR SCREW FASTENED WIRE GUARDS FOR ALL SPRINKLER PIPES IN THE GYMNASIUMS AND MECHANICAL ROOMS.
- D COORDINATE THE LOCATION OF SPRINKLER HEADS AND PIPING WITH BUILDING CONSTRUCTION, DUCTWORK AND MECHANICAL PIPING IN MEZZANINES. ROUTE SPRINKLER PIPING ABOVE THE BOTTOM CHORD OF THE ROOF TRUSSES IN THE MEZZANINE. DO NOT SUPPORT SPRINKLER PIPING FROM DUCTWORK OR EQUIPMENT.

FIRE PROTECTION GENERAL NOTES

- E FIRE PROTECTION SPRINKLER MAINS AND ZONES SHALL BE ROUTED AS DENOTED ON DRAWINGS. ANY ALTERNATE ROUTING MUST BE APPROVED BY THE ARCHITECT/ENGINEER. THIS CONTRACTOR SHALL DETERMINE THE ACTUAL PIPE SIZE AND ROUTING REQUIRED AND COORDINATE WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS.
- F THE SPRINKLER SYSTEM SHALL BE DESIGNED BASED UPON ACTUAL WATER FLOW TEST DATA OBTAINED AT OR NEAR THE JOB SITE.
- G DIVISION 21 CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR PROPER INSTALLATION OF THE FIRE PROTECTION SYSTEMS ALARM DEVICES INVOLVED WITH FIRE SPRINKLER SYSTEM.
- H ALL SPRINKLER SYSTEM PIPING SHALL BE CONCEALED ABOVE THE SUSPENDED CEILING SYSTEM, UNLESS NOTED OTHERWISE. WRITTEN AUTHORIZATION SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO EXPOSING ANY PIPING IN ANY ROOM WHICH HAS A SUSPENDED CEILING.

FIRE PROTECTION GENERAL NOTES

- I AN INSPECTOR'S TEST CONNECTION SHALL BE PROVIDED FOR EACH FIRE SPRINKLER ZONE. THIS CONTRACTOR SHALL PROVIDE FIXED PIPING FROM THE TEST CONNECTION TO AN ADEQUATELY SIZED RECEPTOR WHICH IS CAPABLE OF ACCEPTING THE FULL FLOW OF THE TEST. EXTERIOR DISCHARGE OF THE TEST CONNECTION SHALL BE PERMITTED ONLY BY SPECIFIC WRITTEN INSTRUCTION FROM THE ENGINEER.
- J SHOW ALL ROOM NUMBERS ON SHOP DRAWING PLANS.
- K ROUTE SPRINKLER PIPING SUCH THAT IT DOES NOT RUN ABOVE ELECTRICAL PANELS, SWITCHGEAR, OR SIMILAR EQUIPMENT. SPRINKLER MAINS SHALL NOT RUN THROUGH ELECTRICAL OR COMMUNICATION ROOMS. SPRINKLER HEADS IN THESE ROOMS SHALL BE SERVED BY A DEDICATED BRANCH LINE FOR EACH ROOM.
- L PROVIDE A COMPLETE LIGHT HAZARD WET-TYPE SPRINKLER SYSTEM FOR ALL FIRE ZONES AS SHOWN ON THE DRAWINGS. PROVIDE ORDINARY HAZARD IN SPACE WHERE REQUIRED. INSTALL SPRINKLER SYSTEM PER NFPA 13, STATE AND LOCAL FIRE MARSHALL AND DIVISION 21 OF THE SPECIFICATIONS.

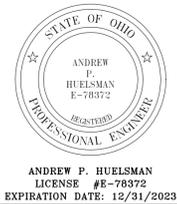
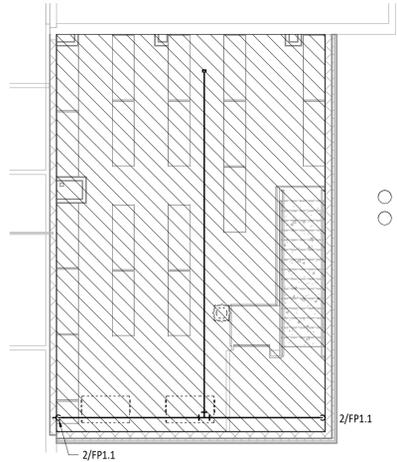
FIRE PROTECTION GENERAL NOTES

- M PROVIDE ALTERATIONS TO THE EXISTING FIRE PROTECTION SYSTEM AS REQUIRED TO ACCOMMODATE THE NEW FLOOR PLAN AND NEW CEILING TYPES. PROVIDE A COMPLETE WET TYPE SYSTEM INCLUDING NEW MAINS, BRANCHES, HEADS, VALVES, AND ACCESSORIES AS REQUIRED. REUSE EXISTING SYSTEM EQUIPMENT WHERE APPLICABLE. THE SYSTEM SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER REQUIREMENTS OF THE STATE BUILDING CODE, LOCAL FIRE DEPARTMENT, AND ALL FEDERAL, STATE, AND LOCAL AUTHORITIES, NFPA, AND FACTORY MUTUAL.
- N THE BUILDINGS COMPLETE OPERATIONAL FIRE PROTECTION SYSTEMS SHALL REMAIN IN PLACE. THIS CONTRACTOR SHALL REPAIR ANY DAMAGE TO THIS SYSTEM CREATED BY THE REMOVAL OF ANY OTHER MECHANICAL SYSTEMS OR COMPONENTS.
- O THIS CONTRACTOR SHALL COORDINATE PHASING OF SPRINKLER WORK WITH ALL OTHER CONTRACTORS PRIOR TO STARTING WORK.
- P THIS CONTRACTOR SHALL PREPARE HYDRAULIC CALCULATIONS BASED UPON THE CONFIGURATION OF THE ACTUAL SYSTEM DESIGN AS SHOWN ON THIS CONTRACTOR'S SHOP DRAWINGS.

FIRE PROTECTION GENERAL NOTES

- Q THIS CONTRACTOR SHALL PROVIDE ALL ADDITIONAL SPRINKLER HEADS AS REQUIRED TO ENSURE AN APPROVED FIRE PROTECTION SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- R PROVIDE AUXILIARY DRAIN VALVES AS REQUIRED BY NFPA. AUXILIARY DRAINS SHALL BE EXPOSED WITH 1" DRAIN VALVES. WHEN 5 OR MORE GALLONS ARE TRAPPED, THIS CONTRACTOR SHALL PROVIDE FIXED PIPING TO AN ADEQUATELY SIZED RECEPTOR WHICH IS CAPABLE OF ACCEPTING THE FULL FLOW OF THE DRAIN. WHEN LESS THAN 5 GALLONS ARE TRAPPED, A HOSE BIB SHALL BE PROVIDED AT THE DRAIN VALVE.
- S AUXILIARY DRAINS SHALL NOT BE LOCATED ABOVE PLASTER OR GYPSUM BOARD CEILING SYSTEMS. ONLY BY A SPECIFIC WRITTEN INSTRUCTION FROM THE ENGINEER WILL A VARIANCE BE PROVIDED.

#	KEYNOTE DESCRIPTION
1	PROVIDE A SELF-CONTAINED FIRE SUPPRESSION SYSTEM THAT IS SUITABLE FOR USE IN TECHNOLOGY EQUIPMENT ROOMS. SYSTEM SHALL BE EQUAL TO FM200 SYSTEM, SHALL BE FM AND UL LISTED AND BE INSTALLED PER NFPA 2001 AND ALL STATE AND LOCAL FIRE CODES. CONNECT SYSTEM TO SMOKE AND HEAT DETECTOR. COORDINATE EXACT FIRE ALARM, POWER REQUIREMENTS AND SPACE WITH GENERAL, ELECTRICAL, FIRE-ALARM AND TECHNOLOGY CONTRACTORS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. FIRE PROTECTION CONTRACTOR SHALL PROVIDE RELAYS FOR CONTROL OF DUCT PENETRATION DAMPERS AND SHALL WIRE TO THE FM-200 PANEL FOR CONTROL.
2	EXISTING SPRINKLER RISER BELL LOCATED IN THIS APPROXIMATE LOCATION TO BE RELOCATED TO FRONT SIDE OF BUILDING.
3	CONNECT TO EXISTING FIRE SUPPRESSION SYSTEM IN THIS APPROXIMATE LOCATION. SIZE PER HYDRAULIC CALCULATIONS. CONTRACTOR TO VERIFY EXISTING PIPE SIZE PRIOR TO BIDDING.



**TIPP CITY GOVERNMENT
BUILDING INFILL**

ISSUANCES/REVISIONS	
BID DOCUMENTS	02/02/2023
ADDENDUM #1	03/07/2023

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
22094.00	AMW	APH

SHEET TITLE:
**FIRE PROTECTION
PLAN**

SHEET NUMBER:
FP1.1

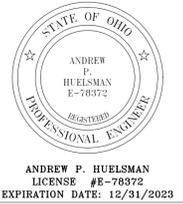
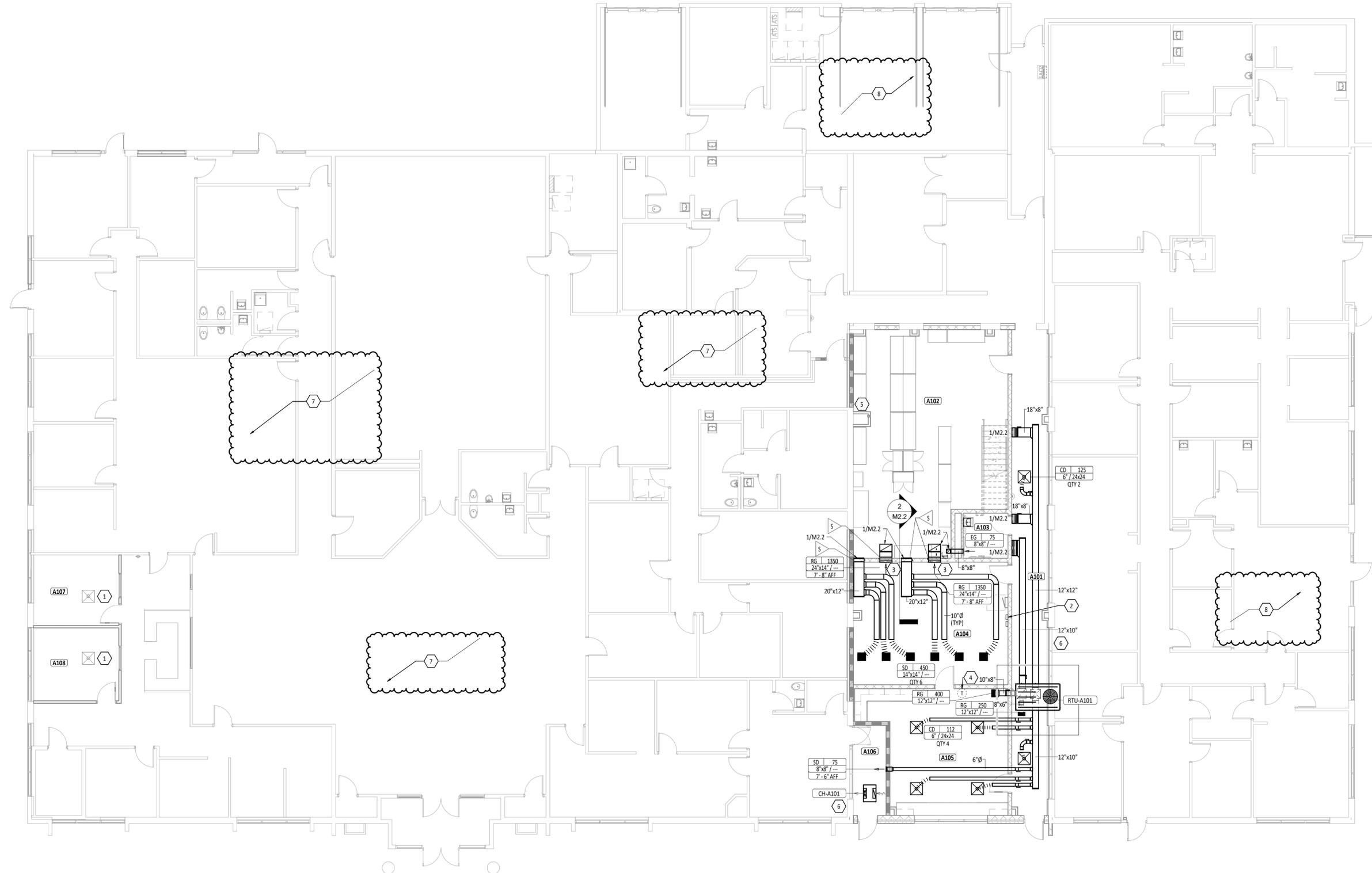
FIRST FLOOR PLAN ROOM INDEX - UNIT A		
ROOM NUMBER	ROOM NAME	AREA
A101	CORRIDOR	456 SF
A102	STORAGE	860 SF
A103	RESTROOM	54 SF
A104	SERVER ROOM	506 SF
A105	IT OFFICE	432 SF
A106	CORRIDOR	79 SF
A107	OFFICE	161 SF
A108	OFFICE	166 SF

HVAC GENERAL NOTES

- A DIVISION 23 MECHANICAL CONTRACTOR IS REQUIRED TO COORDINATE DIFFUSER AND GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- B ALL EQUIPMENT LOCATED ABOVE CEILING REQUIRING MAINTENANCE SHALL BE INSTALLED WITHIN (2) FEET OF THE CEILING FOR MAINTENANCE PURPOSES. DO NOT INSTALL UNITS ABOVE LIGHTS AND CEILING SPEAKERS. COORDINATE LOCATION WITH ARCHITECTURAL REFLECTED CEILING PLAN AND GENERAL CONTRACTOR.
- C ANY BALANCING DAMPERS OR OTHER DEVICES IN DUCTS ABOVE HARD CEILINGS SHALL BE LOCATED ABOVE NEAREST ACCESSIBLE CEILING.
- D THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE FILTERS ON HVAC EQUIPMENT AFTER ALL DUST PRODUCING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO THE FINAL PUNCH.
- E ALL SUPPLY, RETURN, AND EXHAUST DUCTWORK SHALL BE RATED FOR PRESSURE CLASS OF 2" W.G. UNLESS NOTED OTHERWISE.

#	KEYNOTE DESCRIPTION
1	EXISTING DIFFUSER TO BE REMOVED AND STORED ON SITE. EXISTING DIFFUSER SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THE DIFFUSER SHALL BE REPAIRED AT NO COST TO THE OWNER. EXISTING DIFFUSER TO BE CLEANED AND REINSTALLED IN THIS APPROXIMATE LOCATION. PROVIDE NEW FLEXIBLE DUCT AS REQUIRED. COORDINATE LOCATION WITH ELECTRICAL AND GENERAL CONTRACTORS.
2	PROVIDE TECH ROOM COOLING UNIT TOUCH SCREEN CONTROL PANEL AND REMOTE TEMPERATURE/HUMIDITY SENSOR IN THIS APPROXIMATE LOCATION. CONTROL PANELS FOR BOTH UNITS TO COMMUNICATE TO ALLOW FOR LEAD-LAG CONTROL.
3	PROVIDE 1" ACOUSTICAL LINER IN DUCT FROM TECHNOLOGY COOLING UNIT UP TO THE RETURN GRILLE. DUCT SIZE/DIMENSIONS SHOWN IS FREE AREA REQUIRED AND DOES NOT INCLUDE THE LINER. ALL LINED DUCT AND FITTINGS SHALL BE DOUBLE-WALLED WITH PERFORATED INTERIOR.
4	PROVIDE 7-DAY PROGRAMMABLE, TOUCHSCREEN THERMOSTAT FOR ROOFTOP UNIT.
5	EXISTING CONDENSATE DRAIN LINE DRAINING TO EXTERIOR TO BE RELOCATED TO SERVICE SINK IN JANITOR CLOSET IN EXISTING BUILDING. TERMINATE ABOVE FLOOD RIM. CUT END OF PIPE AT 45 DEGREE ANGLE.
6	EXISTING CONDENSATE DRAIN LINE DRAINING TO EXTERIOR TO BE RELOCATED. ROUTE CONDENSATE LINE ABOVE NEW CEILING TO AND DOWN CHASE FOR ROOF DRAIN PIPING IN A105. DRAIN TO EXTERIOR.

#	KEYNOTE DESCRIPTION
7	THERE IS A TOTAL FIFTEEN SPLIT SYSTEM CONDENSING UNITS MOUNTED ON ROOF ABOVE. THESE UNITS SIT ON PADS ON TOP OF THE ROOF. THE HVAC CONTRACTOR SHALL DISCONNECT REFRIGERANT PIPING AND POWER SO THAT EACH UNIT AND CORRESPONDING PAD CAN BE TEMPORARILY REMOVED FOR THE ROOF INSTALLATION AND THEN REINSTALLED AND RECONNECTED. CONTRACTOR SHALL INCLUDE PROPER EVACUATION AND RECHARGING OF REFRIGERANT AS REQUIRED.
8	THERE IS A TOTAL ONE SPLIT SYSTEM CONDENSING UNITS MOUNTED ON ROOF ABOVE. THESE UNITS SIT ON PADS ON TOP OF THE ROOF. THE HVAC CONTRACTOR SHALL DISCONNECT REFRIGERANT PIPING AND POWER SO THAT EACH UNIT AND CORRESPONDING PAD CAN BE TEMPORARILY REMOVED FOR THE ROOF INSTALLATION AND THEN REINSTALLED AND RECONNECTED. CONTRACTOR SHALL INCLUDE PROPER EVACUATION AND RECHARGING OF REFRIGERANT AS REQUIRED.



ANDREW P. HUELSMAN
LICENSE #E-78372
EXPIRATION DATE: 12/31/2023



**TIPP CITY GOVERNMENT
BUILDING INFILL**

ISSUANCES/REVISIONS

BID DOCUMENTS	02/02/2023
1 ADDENDUM #1	03/07/2023

PROJECT NUMBER:	DRAWN BY:	CHECKED BY:
22094.00	AMW	APH

SHEET TITLE:
**FIRST FLOOR
MECHANICAL PLAN**

SHEET NUMBER:
M2.1

